

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: January 22, 2025

TO: Planning Commission

FROM: Planning Staff

SUBJECT: EXECUTIVE SUMMARY:

Consideration of a Planned Agricultural District Permit, Coastal Development Permit (CDP), and Grading Permit, pursuant to Sections 6353 and 6328.4 of the County Zoning Regulations and Section 9283 of the County Ordinance Code, respectively, and adoption of an Initial Study and Mitigated Negative Declaration, pursuant to the California Environmental Quality Act, for the construction of two 1,820 sq. ft. duplex buildings to accommodate four (4) farm labor housing units, a new septic system, two new 5,000-gallon fire water storage tanks, a fire hydrant, access improvements and conversion of an agricultural well to domestic use, on a 549-acre property located at 4309 Cloverdale Road in the unincorporated Pescadero area of San Mateo County. A total of 850 cubic yards of grading, minimal vegetation removal, and no tree removal is proposed. The project site is located within the Cloverdale Road County Scenic Corridor, and the CDP is appealable to the California Coastal Commission.

County File Number: PLN2023-00297 (Sommer/Peninsula Open Space Trust)

PROPOSAL

The applicant is proposing to construct two 1,820 sq. ft. duplex buildings that will accommodate four new farm labor housing units, a fire turnaround, a new septic system, and two new 5,000-gallon water tanks for fire suppression, on a 549-acre property located at 4309 Cloverdale Road in the unincorporated Pescadero area of San Mateo County. A minimal amount of vegetation will be removed, 850 cubic yards of grading is proposed, and no tree removal is proposed. The property grows organic artichokes, parsnips, potatoes and winter squash.

RECOMMENDATION

That the Planning Commission adopt the Initial Study and Mitigated Negative Declaration and approve the Coastal Development Permit, Planned Agricultural District Permit, and Grading Permit, County File Number PLN 2023-00297, by making the required findings and adopting the conditions of approval in Attachment A.

SUMMARY

The project is consistent with the applicable development policies of the General Plan and Local Coastal Program (LCP) pertaining to locating and planning new development, sensitive habitats, visual resources, agricultural component, and water supply. The project will avoid impacts to sensitive habitats, including wildlife species and riparian vegetation. The proposed development will be clustered near agricultural development along the western property line and is minimally visible from public views due to location and existing topography. The current agricultural production of the parcel includes artichokes, parsnips, potatoes and winter squash, and the parcel will continue to facilitate and support continued agricultural use in an efficient and safe manner. The project includes providing a domestic water source and access improvements will be constructed to meet emergency service needs.

The project is also consistent with the criteria for conversion of prime agricultural land established by the Planning Agricultural District Zoning Standards. The project will convert a limited amount of prime agricultural lands to allow four (4) new farm labor housing units, which is allowed when the parcel consist of prime soils and there are no feasible alternative locations. The proposed location will not diminish or impair the agricultural productivity or viability of the surrounding lands.

An Initial Study and Mitigated Negative Declaration were prepared for the project and circulated for a 20-day public review period. No comments were received, and the mitigation measures have been included in the recommended project conditions of approval in Attachment A to the staff report.

Additionally, the project was reviewed at the December 9, 2024 Agricultural Advisory Committee's regular meeting and the Committee recommended approval of the project.

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SUBJECT: Consideration of a Planned Agricultural District Permit, Coastal Development Permit (CDP), and Grading Permit, pursuant to Sections 6353 and 6328.4 of the County Zoning Regulations and Section 9283 of the County Ordinance Code, respectively, and adoption of an Initial Study and Mitigated Negative Declaration, pursuant to the California Environmental Quality Act, for the construction of two 1,820 sq. ft. duplex buildings to accommodate four (4) farm labor housing units, a new septic system, two new 5,000-gallon fire water storage tanks, a fire hydrant, access improvements and conversion of an agricultural well to domestic use, on a 549-acre property located at 4309 Cloverdale Road in the unincorporated Pescadero area of San Mateo County. A total of 850 cubic yards of grading, minimal vegetation removal, and no tree removal is proposed. The project site is located within the Cloverdale Road County Scenic Corridor, and the CDP is appealable to the California Coastal Commission.

County File Number: PLN2023-00297 (Sommer/Peninsula Open Space Trust)

PROPOSAL

The applicant is proposing to construct two new 1,820 sq. ft. duplex buildings that will accommodate four new farm labor housing units, 8 parking spaces to serve the units, a fire turnaround and vehicle access improvements, a new septic system, and two new 5,000-gallon water tanks for fire suppression, on a 549-acre property located at 4309 Cloverdale Road in the unincorporated Pescadero area of San Mateo County. An existing agricultural well is being converted to domestic use to serve the new residential units. A minimal amount of vegetation will be removed, 850 cubic yards of grading is proposed, and no tree removal is proposed. The project will provide housing for 8 farm laborers (2 individuals per unit), and the property grows organic artichokes, parsnips, potatoes and winter squash.

RECOMMENDATION

That the Planning Commission adopt the Initial Study and Mitigated Negative Declaration and approve the Planned Agricultural District Permit, Coastal Development Permit, and Grading Permit, County File Number PLN2023-00297, by making the required findings and adopting the conditions of approval in Attachment A.

BACKGROUND

Report Prepared By: Olivia Boo, Project Planner, oboo@smcgov.org

Applicant: Sandra Sommer, c/o Peninsula Open Space Trust

Owner: Peninsula Open Space Trust and Midpeninsula Regional Open Space District

Public Notification: Ten (10) day advanced notification for the hearing was mailed to property owners within 300 feet of the project parcel and a notice for the Planning Commission hearing was posted in the newspaper (San Mateo Times) of general public circulation on January 11, 2025.

Location: 4309 Cloverdale Road, Pescadero

APN: 086-270-010

Size: 549 acres

Existing Zoning: Planned Agricultural District/Coastal Development (PAD/CD)

General Plan Designation: Agriculture

Local Coastal Plan Designation: Agriculture

Williamson Act: N/A

Existing Land Use: The property is developed with several barns, a packing shed, a storage shed, one (1) 5,000-gallon domestic water tank and 9 agricultural storage tanks that support farming on site. Butano Creek borders along the east property line, with a portion of the creek encroaching into the parcel, at a location north of the proposed development. The subject parcel is covered with non-native vegetation.

Water Supply: An existing agriculture well, approved and drilled in 2018, that is used for agricultural purposes will be converted to a domestic well for the farm worker housing.

The property has riparian water rights to Butano and Arroyo de los Frijoles Creeks. An in-stream diversion from Butano Creek supplies sufficient surface water for the agricultural operations. When stream flow is low and pumping from the creek is not adequate, an existing small off-stream reservoir is used. There are nine, 5,000-gallon water tanks on site for agricultural water storage and one 5,000-gallon potable water storage tank.

The applicant does not anticipate that the conversion of the existing agriculture well to domestic use will substantially increase the need to draw water from Butano Creek. The well is primarily used to supply wash water for the existing agricultural pack-out barn and is not used at full capacity. In partnership with the San Mateo Resource Conservation District (RCD), the applicant recently completed construction of a 16-acre-foot water reservoir on the property, which will store wet-season water for use on the farm throughout the year. This reservoir will replace the well water usage for the pack-out barn, and will also replace some or most of the dry-season agricultural water that is currently used on the property.

Sewage Disposal: A new 2,500-gallon septic system is proposed.

Flood Zone: Zone A (area with a 1% annual chance of flooding) and Zone X (area of minimal flood); Community Panel Number 06081C0451E, effective October 16, 2012.

Environmental Evaluation: An Initial Study and Mitigated Negative Declaration were prepared for this project and posted to the State Clearinghouse on October 18, 2024 (State Clearinghouse No.: 2024100854). The public review period for the document commenced on October 18, 2024 and ended on November 7, 2024.

Setting: The parcel is developed with several barns, a packing shed, a storage shed, and 1 potable water storage tank that support farming on site. Butano Creek borders along the east property line, with a portion of the creek encroaching into the parcel, at a location north of the proposed development. The subject parcel is covered with non-native vegetation. The project site area is relatively flat and screened from public views along Cloverdale Road by dense vegetation along Butano Cree and existing low hills.

DISCUSSION

A. KEY ISSUES

Planning staff has reviewed this proposal and has concluded the following:

1. **Conformance with the General Plan**

a. Vegetative, Water, Fish and Wildlife Resources

Policy 1.23 (*Regulate Development to Protect Vegetative, Water, Fish and Wildlife Resources*), Policy 1.24 (*Regulate Location, Density and Design of Development to Protect Vegetative, Water, Fish and Wildlife Resources*), Policy 1.28 (*Regulate Development to Protect Sensitive Habitats*), Policy 1.29 (*Establish Buffer Zones*), Policy 1.31 (*Uses Permitted in Buffer Zones*), and Policy 1.32 (*Regulate the Location, Siting and Design of Development in Sensitive Habitats*) seek to regulate land uses and development activities to minimize significant adverse impacts on vegetative, water, fish and wildlife resources, including within and adjacent to sensitive habitats where permitted land uses and development activities include, but are not limited to, necessary public and private infrastructure.

The subject parcel is covered with non-native vegetation. No tree removal is proposed. Minor vegetation will be removed to construct and locate the two farm labor housing duplexes and associated infrastructure.

A biological report prepared by Sol Ecology, biological consultant, concludes that with proper mitigation (as recommended by Sol Ecology and included in the Initial Study/Mitigated Negative Declaration), the project will not have any significant adverse impacts to sensitive habitats areas. Mitigation has been included in the recommended conditions of approval, Attachment A.

Sol Ecology cites eleven (11) special-status plants documented within five miles of the Project Study Area. Of these 11 species, none are present or have the potential to occur in the Project Study Area due to past disturbance and historic tilling of the project area.

Riverine

More than 50 feet away from the proposed project footprint to the northeast is Butano Creek which flows along the north to south, along the eastern boundary of the Project Study Area. Butano Creek is a perennial creek that is within the Pescadero Creek Watershed. At the time of the April 2023 biological survey, no aquatic vegetation was present in the creek due to recent rain.

Riparian

The riparian corridor associated with Butano Creek consists of dense vegetation dominated by a contiguous canopy consisting of red willow and arroyo willow; this habitat is located more than 50 feet to the northeast of the proposed project footprint, with the exception of a required fire turnout that will be constructed in a previously disturbed area along the access road and extend into the 50 feet riparian buffer zone while maintaining a distance of more than 50 feet from the creek bed and approximately 35 feet from the top of the creek channel. The fire turnout will abut the edge of riparian corridor but no riparian vegetation will need to be removed. Plant species observed in the understory consisted of blue elderberry, California blackberry, and annual stinging nettle. Abundant wildlife was present in the riparian corridor, including birds and a San Francisco Dusky-Footed Woodrat (SFDFW) nest complex.

Wildlife

Eighteen special-status wildlife species including the San Francisco Garter Snake (SFGS) have been documented within five miles of the Project Study Area footprint. The SFGS is not likely to be present in the project area due to the lack of available cover and limited refugia close to water. The SFGS is also not likely to be present outside nearby riparian habitat since the site is not within any dispersal corridor and lacks necessary cover.

The California Red-Legged Frog (CRLF) has moderate occurrences within five miles; the nearest is within one mile of the Project Study Area. The site is outside the designated critical habitat. The CRLF may disperse into the project footprint, but a lack of suitable upland features and breeding habitat indicates the project study area would not include the CRLF.

Allen's hummingbird has low potential for occurrence; however, the species was observed in Butano Creek riparian corridor adjacent to the project footprint during the April 14, 2023 biological survey. Project construction activities could affect the species during the nesting season. Staff has included mitigation measures recommended by the biologist into the conditions of approval to minimize potential impacts. There is no suitable nesting substrate in the project footprint for Allen's hummingbird.

San Francisco Dusky-Footed Woodrat (SFDFW) has low potential to occur due to the lack of cover within the project footprint. The SFDFW may rarely disperse through the footprint.

Other identified species are not likely to occur due to the absence of suitable habitat elements or vegetation communities (which include coastal prairie, dune habitat, pond habitat, refugia, logs, rock outcrops, large burrows, suitable bat roosts, friable soils, appropriate elevations, etc.). The project study area's disturbed nature and regular tilling likely preclude most native flora and fauna.

Based on the results of the biological assessment, no Environmentally Sensitive Habitat Areas (ESHA) have been identified in the study area, including no coastal wetlands or unique or occupied habitats. Much of the site is dominated by invasive or ornamental plants or areas that have been disturbed, tilled or farmed. Butano Creek riparian habitat is located more than 50 feet away from a majority of the proposed project, except for a new fire turnout that will extend into the 50 feet riparian buffer zone to the edge of the riparian corridor; no riparian vegetation will be removed. Additionally, habitat that supports at least four special status wildlife species, including SFGS and CRLF, to the south of the existing access road will be avoided.

b. Soil Resources

Policy 2.20 (Regulate Location and Design of Development in Areas with Productive Soil Resources) and Policy 2.21 (Protect Productive Soil Resources Against Soil Conversion) seek to regulate location of design of development in a manner which is most protective of productive soil resources, including, but not limited to, measures which require clustering of structures; and regulate land use of productive soil resources to protect against soil conversion.

The farm labor housing units are proposed to be located on Land Capability Classification (LCC) Class 2 soils. Based on review of the Natural Resources Conservation Service Web Soil Survey and Soil Survey San Mateo Area, the soil types are CuA and Ma. CuA is classified as Class II agricultural soil if irrigated and has a California Revised Storie Index Rating of Grade 2 – Good, which is considered prime agricultural land under the County's definition. Ma is Grade 3 - Fair grading, which is not classified as prime agricultural land. The project will convert a small area of Class 2 soils; however, the remainder of the parcel remains available for continued farming. The proposed farm labor housing units will be located in a southwest area of the parcel, along and close to the western property line to avoid and protect active farming areas.

c. Visual Quality

Policy 4.15 (*Appearance of New Development*), Policy 4.21 (*Utility Structures*), Policy 4.25 (*Location of Structures*), and Policy 4.26 (*Earthwork Operations*) seek to regulate development to promote and enhance good design, site relationships and other aesthetic considerations; minimize adverse visual quality of utility structures, locate and site structures and paved areas to carefully conform with the natural vegetation, landforms and topography of the site so that their presence is compatible with the pre-existing character of the site; and minimize grading and ensure it blends with adjacent landforms.

The project site itself is relatively flat. The farm labor housing units are not expected to be visible from Cloverdale Road due to low hills that separate the project parcel from Cloverdale Road. Approximately 840 cubic yards of grading is proposed for the farm labor housing units, the new septic system, two new water tanks, and new fire turnaround. No tree removal is proposed. The water tanks are required by Condition 8 to be painted an earth tone color to blend with the surrounding area, and earthwork and vegetation removal is limited to that necessary to construct the development.

d. Rural Land Use

Policy 9.28 (*Encourage Existing and Potential Agricultural Activities*) and Policy 9.31 (*Protection of Agricultural Lands*) encourage the continuance of existing agricultural and agricultural-related activities; and methods which assist in the retention and expansion of land with agricultural activities through methods that include contracts.

While the property is not currently under a Williamson Act contract, the property supports on-going agricultural production of artichokes, parsnips, potatoes and winter squash. The proposed infrastructure and development are clustered with the existing agriculture structures, the proposed structures will be located approximately 300 feet from existing development, close to the western and southern property lines of the parcel. The proposed location will preserve the remainder of the land for continued farming.

e. Water Supply

Policy 10.15 (*Water Suppliers in Rural Areas*) consider the following appropriate methods of water supply in rural areas: water systems and wells.

The project proposes to convert an existing well, approved and drilled in 2018 and currently used for agricultural purposes, as the domestic water source for the farm worker housing. County Environmental Health Services has provided conditional approval for the well conversion. The property has riparian water rights to Butano and Arroyo de los Frijoles Creeks. An in-stream diversion from Butano Creek supplies sufficient surface water for the agricultural operations. When stream flow is low and pumping from the creek is not adequate, an existing small off-stream reservoir is used. There are nine 5,000-gallon water tanks on site for agricultural water storage and one 5,000-gallon potable water storage tank.

For fire suppression, San Mateo County Fire will require two 5,000-gallon water storage tanks to be installed on site and adequate fire turnaround to access both the water tanks and habitable structures. San Mateo County Fire has reviewed and conditionally approved the project as to being able to meet these requirements.

Policy 11.10 (*Wastewater Management in Rural Areas*) considers individual sewerage systems to be the appropriate method of wastewater management in rural areas.

The project includes the installation of a new septic system on the property to serve both farm labor housing units. Environmental Health Services has reviewed the project for conformance with sewage disposal requirements and has provided conditional approval.

f. Natural Hazards

Policy 15.29 (*Review Criteria for Locating Development Outside of Fire Hazard Areas*), Policy 15.30 (*Standards for Water Supply and Fire Flow for New Development*) and Policy 15.31 (*Standards for Road Access for Fire Protection Vehicles to Serve New Development*) seek to ensure that fire safety is adequately addressed in the review of new development proposed in unincorporated areas located outside of fire hazard areas through measures including but not limited to referral of proposals for development to appropriate fire protection agencies for conditions of approval; require connection to a public water system for any new development proposal; determine the quantity of on-site water supply, fire flow requirements, and spacing and installation of hydrants in accordance with the standards of the agency responsible for fire protection for the site proposed for development; and consider adequate access through turning radius for fire vehicles, turnout requirements, and road widths in conformance with the standards of the agency responsible for fire protection for the proposed development.

San Mateo County Fire Department requires a fire turnaround, which is included in the project as proposed. The County's Geographic Information System (GIS) indicates the property is located in a moderate fire severity zone. In addition to the requirement for two 5,000-gallon water tanks, the project is required to comply with appropriate roof material, vegetation management, fire hydrant and fire turnaround requirements. County Fire has reviewed the project and issued conditional approval. Final review will take place at the building permit stage. See also staff's discussion under Policy 10.15 (*Water Suppliers in Rural Areas*) above regarding fire suppression.

Though the fire turnout is located within the 50 feet riparian buffer zone, it will be more than 50 feet from the creek bed and more than 35 feet from the top of creek channel. The applicant confirmed the turnaround cannot be relocated due to the fire marshal's requirement that fire apparatus staging area (with the hydrant and turnout) be on the fire department access (east) side and no more than 150 feet from all buildings. The proposed location for the turnout is in the previously tilled and cultivated (but now fallow) farm field. The turnout is located in an already disturbed area of the parcel, adjacent to the existing road. The southern point of the fire turnout abuts the edge of one part of the riparian area; however, no riparian vegetation will be removed. Local Coastal Program Policy 7.12 (*Permitted Uses in Buffer Zones*) allows residential structures or impervious surfaces to encroach into a riparian buffer zone on agricultural land if no feasible alternative exists. Any other location for the proposed turnaround would be either infeasible or even closer to the riparian vegetation and top of creek bank.

2. Compliance with Local Coastal Program

The project complies with the following applicable Local Coastal Program (LCP) Policies:

a. Locating and Planning New Development Component

Policy 1.8 (*Land Uses and Development Densities in Rural Areas*) states new development in rural areas shall not: (1) have significant adverse impacts, either individually or cumulatively, on coastal resources and (2) diminish the ability to keep all prime agricultural land and other land suitable for agriculture (as defined in the Agriculture Component) in agricultural production.

The proposed farm labor housing units and supporting improvements will not adversely impact coastal resources, including sensitive habitats, riparian corridors or scenic views, subject to the mitigation measures recommended in the Initial Study/Mitigated Negative Declaration that are included in the recommended conditions for project approval (see Attachment A). The housing units will be clustered along the western property boundary in close proximity to the existing agricultural buildings, and potential impacts to sensitive habitats are minimized. This location will best minimize and protect, and allow for, continued crop farming on the parcel. The proposed farm labor housing units will provide needed supportive use to aid in preserving and continuing crop farming on the property. The water tanks are required to be painted a dark earth tone color to blend with the surrounding area (Condition 8), and the minimal earthwork and vegetation removal will be only what is necessary to construct the development.

b. Agricultural Component

LCP Policy 5.5(a) and (b) (*Permitted Uses on Prime Agricultural Lands Designated as Agriculture*) and 5.8(a)(1) (*Conversion of Prime Agricultural Land Designated as Agriculture*) conditionally permit farm labor housing and water storage tanks on prime soils when related to agriculture and prohibits the conversion of prime agricultural land within a parcel unless it can be demonstrated that no alternative onsite location exists, clearly defined buffer zones exist between agricultural and non-agricultural uses, and that agricultural productivity will not be diminished.

Approximately 50% of the parcel consists of prime soils, specifically the land along the east and west property lines. The project parcel does support commercially viable agricultural operations, growing artichokes, parsnips, potatoes and winter squash. The proposed project will further facilitate farming by providing on-site housing for farm workers. There is a clear separation between both the existing and proposed structures and the on-going agriculture farming. The structures are located along the western property boundary which protects the remainder of the parcel for on-going farming.

(1) *No alternative site exists on the parcel for the use.*

The San Mateo County Planning and Building Department's Geographic Information System (GIS) shows that approximately half of the parcel consists of prime soils, LCC class 2, and the location of the proposed farm labor housing units and associated infrastructure will be located on these prime soils; there is limited option to avoid land conversion of prime soils as the developable area of the parcel is dominated with prime soils and topographic conditions in other portions of the parcel otherwise make the project infeasible. The farm labor housing units and the proposed infrastructure are at the far southeast portion of the parcel, which avoids prime soils and minimizes impacts to agricultural activities on the parcel to the extent feasible. Per Section 6353.A.2 of the PAD Regulations, farm labor housing may be permitted on prime agricultural land subject to compliance with the criteria for conversion of prime agricultural land discussed below.

- (2) *Clearly defined buffer areas are provided between agricultural and non-agricultural uses.*

The existing and proposed development is located and limited to the western property line, thus creating an invisible but clearly defined buffer area that separates the crop farming and agriculture structures. The farm labor housing and associated infrastructure directly supports farming by providing on-site housing for the farm workers.

- (3) *The productivity of any adjacent agricultural land will not be diminished.*

The project proposes two new duplex buildings to accommodate a total of 4 farm labor housing units, and associated infrastructure, to support ongoing farming on the property. The ongoing farming of crops onsite is not expected to be impacted by the project. Both the existing structures and the proposed structures are, and will be, located along the western property line, creating an invisible buffer that separates the development from the crops. The new septic system will occupy an area currently used for row crops at the southern portion of the parcel and would cause discontinuance of the row crop in this location, but the loss is negligible to the overall agricultural productivity of the property.

The project is bordered by Butano Creek to the east. The adjacent lands support mixed development and undeveloped parcels. The developed parcels consist of low density residential and/or agricultural development. None of the adjacent parcels will be impacted by the added farm labor housing units.

- (4) *Public service and facility expansions and permitted uses will not impair agricultural viability, including by increased assessment costs or degraded air and water quality.*

The proposed farm labor housing units are not expected to impair or impact the agricultural viability of the land (i.e., increased assessment cost), or degrade air or water quality. The Initial Study/Mitigated Negative Declaration (IS/MND) concluded the project would not have significant long-term impacts and would not diminish adjacent agriculture production.

c. Sensitive Habitat Component

Policy 7.3 (*Protection of Sensitive Habitats*) seeks to protect sensitive habitats from adverse impacts caused by development.

See staff's discussion under General Plan compliance A.1.a. (Vegetative, Water, Fish and Wildlife Resources).

d. Visual Resources Component

Policy 8.5 (*Location of Development*) and Policy 8.18 (*Development Design*) require development to use appropriate materials and colors that minimize reflections, minimize visual obtrusiveness, and avoid detracting from the natural characteristics of the site.

See staff's discussion under General Plan compliance Section A.1.c (Visual Quality).

3. Compliance with Planned Agricultural District (PAD) Regulations:

The project complies with the applicable development standards and criteria of the PAD Zoning District, as discussed below.

a. Development Standards

As shown in the table below, the project conforms to Sections 6358 and 6359 of the San Mateo County Zoning Regulations, which regulate the height and setbacks of structures in the PAD Zoning District.

| Development Standard | Required | Proposed |
|-------------------------|----------|--|
| Minimum Building Site | N/A | 549 acres |
| Minimum Front Yard | 50feet | 288 feet |
| Minimum Side Yard | 20 feet | 20 feet (left side) 280 feet (right side) |
| Minimum Rear Yard | 20 feet | 130 feet |
| Maximum Building Height | 36 feet | 19 feet |

b. PAD Criteria

The project conforms to the substantive criteria for the issuance of a PAD permit, as applicable and outlined in Section 6355 of the Zoning Regulations.

General Criteria

- (1) *The encroachment of all development upon land which is suitable for agricultural use shall be minimized.*

See discussion under LCP, Agricultural Component.

- (2) *All development permitted on a site shall be clustered*

The proposed infrastructure and development are considered clustered with the existing agriculture structures. wThe proposed structures will be located approximately 300 feet from existing development, along the western and southern boundaries of the parcel. This is to continue preserving the remainder of the land for continued farming.

Clustering the proposed development closer than 300 feet would likely encroach and cause more impact to the agricultural crops.

- (3) *Every project shall conform to the Development Review Criteria contained in Chapter 20A.2 of the San Mateo County Ordinance Code.*

The project will conform to the following applicable Development Review Criteria of Chapter 20A.2 of the San Mateo County Ordinance Code.

Section 6324.1 (*Environmental Quality Criteria*), Section 6324.2 (*Site Design Criteria*) and Section 6325.2 (*Primary Fish and Wildlife Habitat Areas Criteria*) seek to cluster development, minimize grading and changes in vegetative cover, locate development so that it is subordinate to the pre-existing character of the area and protect primary wildlife habitat areas.

The farm labor housing units are not expected to be visible from Cloverdale Road due to low hills that separate the project parcel from Cloverdale Road. The project site area is flat and no tree removal is proposed. The biological report did not find any unique, rare or endangered species within the project area that will be impacted pursuant to mitigations; see further discussion under General Plan compliance Section A.1.a. (Vegetative, Water, Fish and Wildlife Resources).

Water Supply Criteria

- (1) *Adequate and sufficient water supplies needed for agricultural production and sensitive habitat protection in the watershed are not diminished.*

See staff's discussion under General Plan compliance Section A.1.e. (Water Supply).

Criteria for the Conversion of Prime Agricultural Lands

The PAD Regulations allow the conversion of prime agricultural land to uses permitted with a PAD permit, such as farm labor housing, when the following can be demonstrated. As discussed previously under the Local Coastal Program A.2.b. (Agricultural Component), the project satisfies these required criteria.

- (1) *No alternative site exists on the parcel for the use.*
- (2) *Clearly defined buffer areas are provided between agricultural and non-agricultural uses.*
- (3) *The productivity of any adjacent agricultural land will not be diminished.*

- (4) *Public service and facility expansions and permitted uses will not impair agricultural viability, including by increased assessment costs or degraded air and water quality.*

4. Conformance with the Grading Ordinance

The project is compliant with the findings of the Grading Ordinance as discussed below:

- a. That the project will not have a significant adverse effect on the environment.

The geotechnical study for the proposed project has been prepared by Sigma Prime Geosciences, Inc. Sigma Prime confirmed the site is not located in an Alquist-Priolo special studies area or zone where fault rupture is considered likely, thus active faults are not believed to exist beneath the site and the potential for fault rupture to occur is low.

The site is located in an active seismic area. Moderate to large earthquakes are probable along several active faults in the greater Bay Area over a 30-to-50-year design life. Strong ground shaking should therefore be expected several times during the design life of the structure, as is typical for sites throughout the Bay Area. The improvements should be designed and constructed in accordance with current earthquake resistance standards.

Due to the medium stiff clay and minor amounts of loose sand, a small amount of differential compaction may occur, but the likelihood of significant damage to the structures from differential compaction is low. Loose silty sands below a water table were encountered but are very limited. The likelihood of liquefaction occurring at the site is moderate.

The grading plans will be reviewed at the building permit stage by the Building Department's Civil and Geotechnical Sections. Additionally, an erosion and sediment control plan shall be submitted at the building permit stage to ensure significant erosion and sedimentation does not occur as a result of the project. All mitigation measures from the MND have been included as conditions of approval in Attachment A to this staff report.

- b. That the project conforms to the criteria of Division VII (Building Regulations) of the San Mateo County Ordinance Code, including the standards referenced in Section 9296.

Erosion control measures shall be in place and will be required to be maintained throughout the road grading repair. The applicant shall submit a geotechnical study to demonstrate details of the grading repair to be reviewed at the building permit stage. If the grading repair is anticipated during the wet season, the geotechnical consultant will be required to address whether grading repair activity should be allowed to continue during the wet season (October 1 – April 30) and apply for a winter grading exception if necessary. Additionally, the project will comply with the standards for dust control and fire safety.

That the project is consistent with the General Plan.

The General Plan designation for this site is Agriculture. The proposed construction and associated grading for farm labor housing and fire access is consistent with the land use allowance by this General Plan designation. As discussed in the General Plan Compliance Section of this report, Section A.1, this project, as conditioned, complies with all applicable General Plan goals and policies.

B. REVIEW BY THE AGRICULTURAL ADVISORY COMMITTEE

The project was reviewed at the December 9, 2024 Agricultural Advisory Committee's regular meeting and the Committee recommended approval of the project.

C. ENVIRONMENTAL REVIEW

An Initial Study and Mitigated Negative Declaration were prepared for this project and posted to the State Clearinghouse on October 18, 2024 (State Clearinghouse No.: 2024100854). The public review period for the document commenced on October 18, 2024 and ended on November 7, 2024. No public comment has been received to date.

D. REVIEW BY THE CALIFORNIA COASTAL COMMISSION

Staff referred the project to the California Coastal Commission (CCC) on June 13, 2023 and received the following comment.

CCC comment:

In the revised set of plans there are two 5,000-gallon water tanks proposed, one of which is located within the 50 feet riparian buffer zone for Butano Creek and the hydrant turnaround, hydrant, and hydrant line are also within the buffer zone.

LCP policy 7.9 (a) states permitted uses in Riparian Corridors include (5) necessary water supply projects. Policy 7.9 (b) states when no feasible alternative exists, permit the following uses: (4) pipelines, (5) repair or maintenance of roadways or road crossings, (7) agricultural uses, provided no existing riparian vegetation is removed, and no soil is allowed to enter stream channels.

Policy 7.12 states within buffer zones, permit only the following uses: (1) uses permitted in riparian corridors; (2) residential uses on existing legal building sites, set back 20 feet from the limit of riparian vegetation, only if no feasible alternative exists, and only if no other building site on the parcel exists; (3) on parcels designated on the LCP Land Use Plan Map: Agriculture, Open Space, or Timber Production, residential structures or impervious surfaces only if no feasible alternative exists.

Staff's Response: The applicant has relocated one 5,000-gallon water tank outside the buffer zone so that no water tanks are located in the buffer zone. For the fire turnaround, though the fire turnout is located within the riparian buffer, the applicant confirmed the turnaround cannot be relocated due to the fire marshal's requirement that fire apparatus staging area (with the hydrant and turnout) be on the fire department access (east) side and no more than 150 feet from all buildings. The proposed location for the turnout is in the previously tilled and cultivated (but now fallow) farm field. One turnout abuts the riparian area, located at the most southern area of the project parcel, no riparian vegetation will be removed. Any other location would be either infeasible or even closer to the riparian vegetation and top of creek bank.

E. REVIEWING AGENCIES

Building Department
Department of Public Works
Environmental Health Services
San Mateo County Fire Department
California Coastal Commission
Agricultural Advisory Committee

ATTACHMENTS

- A. Conditions of Approval
- B. Vicinity Map
- C. Plans
- D. Initial Study/Mitigated Negative Declaration
- E. Biological Report prepared by Sol Ecology



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT A

County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN2023-00297 Hearing Date: January 22, 2025

Prepared By: Olivia Boo, Project Planner For Adoption By: Planning Commission

RECOMMENDED FINDINGS

Regarding the Environmental Review, Find:

1. That the Initial Study and Mitigated Negative Declaration reflects the independent judgment of San Mateo County.
2. That the Initial Study and Mitigated Negative Declaration is complete, correct, and adequate and prepared in accordance with the California Environmental Quality Act and applicable State and County Guidelines. The Initial Study and Mitigated Negative Declaration was prepared and issued with a public review period from October 18, 2024 to November 7, 2024.
3. That on the basis of the Initial Study, comments received hereto, and testimony presented and considered at the public hearing, there is no substantial evidence that the project will have a significant effect on the environment. The Initial Study and Mitigated Negative Declaration identify potentially significant impacts to air quality, biological resources, climate change, cultural resources, geology/soils, and tribal cultural resources. The mitigation measures contained in the Mitigated Negative Declaration have been imposed as conditions of approval in this attachment. As proposed and mitigated, the project will not result in any significant environmental impacts.
4. That the mitigation measures identified in the Mitigated Negative Declaration have been agreed to by the owner and placed as conditions of project approval and shall serve as the Mitigation Monitoring and Reporting Plan in conformance with the California Public Resources Code Section 21081.6.

Regarding the Coastal Development Permit, Find:

5. That the project, as described in the application and accompanying materials required by Sections 6328.7 and as conditioned in accordance with Section 6328.14, conforms with the plans, requirements, and standards of the San Mateo County Local Coastal Program (LCP). The project complies with the Locating and Planning New Development, Agricultural, Sensitive Habitats, and Visual Resources Components of the LCP.
6. That the project is not subject to the public access and public recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Section 30200 of the Public Resources Code) since the project is not located between the nearest public road and the sea, or the shoreline of Pescadero Marsh.
7. That the project conforms to specific findings required by policies of the San Mateo County LCP with regard to Locating and Planning New Development, Agricultural, Sensitive Habitats, and Visual Resources Components. Specifically, the project involves four new farm labor housing units and associated development to support the existing farming operation and farm center, and where the new development will be clustered and will minimize impacts to the visual quality of the area and sensitive habitats.

For the Planned Agricultural District Permit, Find:

8. That the project meets the General Criteria for issuance of a PAD permit because the development will minimize the encroachment upon land suitable for agricultural uses, will be clustered near existing agricultural development, and conforms to the Development Review Criteria outlined in Zoning Regulations Chapter 20A.2.
9. That the project meets the Water Supply Criteria for ensuring adequate and sufficient water supplies for agricultural production, and sensitive habitat protection in the watershed is not diminished. The property will secure domestic water service through the conversion of an agricultural well to domestic use as regulated by Environmental Health Services.
10. That the project meets the Criteria for the Conversion of Prime Agricultural Lands because no alternative site exists on the parcel for the use, clearly defined buffer areas are provided between agricultural and non-agricultural uses, and the productivity of any adjacent agricultural land will not be diminished. The property will continue to be used for growing organic artichokes, parsnips, potatoes and winter squash and the development will provide for additional farm labor housing units within the County.

For the Grading Permit, Find:

11. That this project, as conditioned, will not have a significant adverse effect on the environment. The project has been reviewed by Planning staff, and detailed geotechnical review will occur prior to building permit issuance. All mitigation measures from the MND are included as conditions of approval.
12. That the project conforms to the criteria of Chapter 5, Division VII, San Mateo County Ordinance Code, including the standards referenced in Section 9296. Planning staff, and the Building Department's Civil Section have reviewed and conditionally approved the project. Conditions of approval including timing of grading activity, implementation of erosion and sediment control measures, and dust control measures have been included below.
13. That the project, as proposed and conditions, is consistent with the General Plan Policies for Vegetative, Water, Fish, and Wildlife Resources, Soil Resources, Visual Quality, Rural Land Use, Water Supply and Natural Hazards as discussed in the staff report dated January 22, 2025.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. The approval applies only to the proposal as described in this report and materials submitted for review and approval by the Planning Commission on January 22, 2025. The Director of Planning and Building may approve minor revisions or modifications to the project if they are found to be consistent with the intent of, and in substantial conformance with, this approval.
2. These permits shall be valid for one (1) year from the date of final approval, in which time a building permit shall be issued and a completed inspection (to the satisfaction of the Building Inspector) shall have occurred within one (1) year of its issuance. Any extension of these permits shall require submittal of a written request for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. The Farm Labor Housing Permit approval shall be valid for a period of ten (10) years from the date of approval, until January 22, 2035. Renewal of the farm labor housing permit shall be applied for six (6) months prior to expiration to the Planning Division by filing a Farm Labor Housing Renewal Application.
4. No trees are permitted for removal as part of this approval.

5. Within four (4) business days of the final approval date for this project, the applicant shall submit an environmental filing fee totaling \$3,018.75, as required under Fish and Game Code Section 711.4; this includes a \$50.00 recording fee. Payment shall be by a check payable to "San Mateo County Clerk" submitted to the project planner to file with the Notice of Determination. Please be aware that the Department of Fish and Game environmental filing fee increases starting the 1st day of each new calendar year (i.e., January 1, 2025). The fee amount due is based on the date of payment of the fees.
6. The approved permanent farm labor housing units and supporting infrastructure shall be removed in their entirety, or converted to a use allowed under the applicable zoning district with applicable permits, upon termination of their need to house qualifying farm laborers.
7. Prior to the issuance of any building permits for the project, the applicant shall pay all applicable Affordable Housing Impact Fees, pursuant to San Mateo County Ordinance No. 4758. The impact fee shall be assessed at \$5.00 per square foot over 2,500 sq. ft. of net new gross floor area per individual unit. Or the owner shall enter into a contract with the County to establish the farm labor housing units as permanently affordable units.
8. The water tanks shall have an exterior finish that is non-reflective and earth tone in color to blend with the surrounding area. The farm labor housing units shall be constructed as proposed, of hardy panel with an old redwood finish, composite roof, and the decks shall be dark brown in color. Verification by the Current Planning Section that the exterior finish materials and colors are implemented as approved shall occur prior to final building inspection. Photos shall be emailed to the project planner by referencing the County File Number, PLN 2023-00297.
9. The following Best Management Practices (BMPs) outline by the San Mateo Resource Conservation District shall be implemented.
10. The project shall include standard Best Management Practices (BMPS) around erosion control measures and construction timing to minimize indirect impacts. The project engineer shall include standard BMPs for erosion control during and after construction.
11. To prevent sediment run-off, do not work during rain; implement erosion control measures (waddles, jute, coir, energy dissipators, etc.) for any possible drainage areas towards the creek. To prevent disturbing nesting birds, restrict loudest construction operations to September 1 through January 31. Construction shall be scheduled at times when impacts will be minimized.

Grading

12. No grading shall be allowed during the wet weather season (October 1 through April 30) to avoid increased potential soil erosion unless the applicant applies for an Exception to the Winter Grading Moratorium and the Director of Planning and Building grants the exception. Exceptions will only be granted if dry weather is forecasted during scheduled grading operations, and the erosion control plan includes adequate winterization measures (amongst other determining factors).
13. The provisions of the San Mateo County Grading Ordinance shall govern all grading to the project site. Per San Mateo County Ordinance Section 9296.5, all equipment used in grading operations shall meet spark arrester and firefighting tool requirements, as specified in the California Public Resources Code.
14. The applicant is required to replace any vegetation removed during construction, including ground cover. Per Zoning Regulations Section 6324.2, vegetation for stabilization of all graded and disturbed areas or for replacement of existing vegetation shall be selected and located to be compatible with surrounding vegetation, recognizing climate, soil, and ecological characteristics of the region. This shall occur and be confirmed prior to the building permit's final inspection approval.
16. The engineer who prepared the approved grading plan shall be responsible for the inspection and certification of the grading as required by Section 9296.2 of the Grading Ordinance. The engineer's responsibilities shall include those relating to noncompliance detailed in Section 9297.4 of the Grading Ordinance.
17. All grading and erosion and sediment control measures shall be in accordance with the plans prepared and approved by the Civil/Drainage Section, Geotechnical Section, and the Current Planning Section. Revisions to the approved grading plan shall be prepared and signed by the engineer and shall be submitted to the Department of Public Works and the Planning Department concurrently for review and approval prior to commencing any work pursuant to the proposed revision.
18. It shall be the responsibility of the applicant's engineer to regularly inspect the erosion control measures and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected.
19. For final approval of the Grading Permit, the applicant shall ensure the performance of the following activities within thirty (30) days of the completion of grading:
 - a. The engineer shall submit written certification to the Geotechnical Section that all grading has been completed in conformance with the approved plans, conditions of approval, and the Grading Ordinance.

- b. All applicable work during construction shall be subject to observation and approval by the geotechnical consultant. Section II of the Geotechnical Consultant Approval form must be submitted to the County's Geotechnical Engineer and Current Planning Section.
20. An Erosion Control and/or Tree Protection Inspection is required prior to the issuance of a building permit for construction and demolition. Once the Erosion Control and/or Tree Protection measures have been installed per the approved plans, please contact the project planner to schedule an Inspection. A \$191 inspection fee will be assessed to the building permit for the inspection. If the initial pre-site inspection is not approved, an additional inspection fee will be assessed for each required re-inspection until the job site passes the Pre-Site Inspection.

Mitigation Measures from the Initial Study/Mitigated Negative Declaration

21. Mitigation Measure 1: Upon the start of excavation activities and through to the completion of the project, the applicant shall be responsible for ensuring that the following dust control guidelines are implemented:
- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
 - b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
 - c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
 - d. All vehicle speeds on unpaved roads shall be limited to 15 mph.
 - e. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - f. All construction equipment shall be maintained and properly tuned in accordance with manufacturers' specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.

- g. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of the California Code of Regulations (CCR)). Clear signage shall be provided for construction workers at all access points.
 - h. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
 - i. Construction-related activities shall not involve simultaneous occurrence of more than two construction phases (e.g., paving and building construction would occur simultaneously).
22. Mitigation Measure 2: Environmental Awareness Training: Prior to the start of work, environmental awareness training shall be provided to all construction crew. Training shall include a description of all biological resources that may be found on or near the Project Study Area, the laws and regulations that protect those resources, the consequences of non-compliance with those laws and regulations, instructions for inspecting equipment each morning prior to activities, and a contact person if protected biological resources are discovered in the Project Study Area.
23. Mitigation Measure 3: Wildlife Exclusion Fencing (WEF): At least 14 days prior to the commencement of construction-related activities, California Red-Legged Frog (CRLF) exclusion fencing with exit funnels shall be installed between the riparian corridor and the Project footprint under the direction of a qualified biologist. Following installation, the fence should be inspected weekly by trained construction personnel to monitor and maintain the fence throughout the duration of the Project's ground-disturbing activities.
24. Mitigation Measure 4: Erosion Control Materials: Tightly woven fiber netting or similar material shall be used for erosion control or other purposes to ensure amphibian and reptile species do not get trapped. Plastic mono-filament netting (erosion control matting) rolled erosion control products, or similar material shall not be used.
25. Mitigation Measure 5: Pre-Construction Wildlife Surveys: Pre-construction surveys for CRLF shall be conducted prior to initiation of project activities and within 48 hours of the start of ground disturbance activities. After the Wildlife Exclusion Fence has been properly erected, scoping of any burrows on the site to ascertain the absence of CRLF is recommended in lieu of daily biological monitoring. Surveys are to be conducted by a qualified biologist. If CRLF is detected during the survey, the animal should be allowed to leave the area on its own accord.

26. Mitigation Measure 6: Nesting Bird Seasonal Work Window or Surveys: Tree and vegetation removal activities should be initiated during the non-nesting season from September 1 to January 31 to the extent feasible. If work cannot be initiated during this period, then nesting bird surveys shall be performed in suitable nesting habitat within 250 feet of the project footprint.

If nests are found, a no-disturbance buffer should be placed around the nest until young have fledged or the nest is determined to be no longer active by the biologist. The size of the buffer may be determined by the biologist based on species and proximity to activities but should generally be between 50 feet for songbirds and up to 250 feet for nesting raptors.

27. Mitigation Measure 7: In the event that unanticipated cultural resources are exposed during disturbance activities, work within 15 meters (50 feet) of the find must stop and a Secretary of the Interior (SOI)-qualified archaeologist (the SOL ECOLOGY Project Manager) must be notified immediately. Work may not resume until a qualified archaeologist can evaluate the significance of the find; however, disturbance activities may continue in other areas. If the discovery proves significant, additional work such as archaeological testing, data recovery, or consultation with stakeholders may be warranted.
28. Mitigation Measure 8: The discovery of human remains during the course of the project is a possibility. If human remains are encountered, then the procedures outlined by the Native American Heritage Commission (NAHC), in accordance with Section 7050.5 of the California Health and Safety Code and PRC Section 5097.98, shall be followed. If the monitor determines that a discovery includes human remains:
- a. All ground-disturbing work within the immediate vicinity (25 feet) of the find shall halt.
 - b. The archaeologist shall contact the San Mateo County Coroner: San Mateo County Coroner, 50 Tower Road, San Mateo, California 94402; Phone: 650/312-5562.
 - c. As a courtesy, the County Coroner shall also notify the NAHC: Native American Heritage Commission, 915 Capitol Mall, Room 364, Sacramento, California 95814; Phone: 916/373-3710, Email: nahc@nahc.ca.gov

The County Coroner would have two (2) working days to examine the remains after being notified in accordance with California Health and Safety Code Section 7050.5. If the San Mateo County Coroner determines that the remains are Native American and are not subject to the County Coroner's authority, the County Coroner has 24 hours to notify the NAHC of the discovery. The NAHC would immediately designate and notify the Native American Most Likely Descendant

(MLD), who will have 48 hours after being granted access to the location of the remains to inspect them and provide recommendations for the treatment of them.

29. Mitigation Measure 9: In the event that cultural, paleontological, or archaeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Director of Planning and Building of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Director of Planning and Building for review and approval a report of the findings and methods of curation or protection of the resources. In addition, an archaeological report meeting the Secretary of the Interior's Standards detailing the findings of the monitoring will be submitted to the Northwest Information Center after monitoring has ceased. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred.
30. Mitigation Measure 10: If a newly discovered resource is, or is suspected to be, Native American in origin, the resource shall be treated as a significant Tribal Cultural Resource, pursuant to Public Resources Code 21074, until the County has determined otherwise with the consultation of a qualified archaeologist and local tribal representative.
31. Mitigation Measure 11: Prior to commencement of the project, the applicant shall submit to the Planning Department for review and approval, an erosion and drainage control plan that shows how the transport and discharge of soil and pollutant from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment capturing devices. The plan shall limit application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plans shall adhere to the San Mateo County Wide Stormwater Pollution Prevention Program "General Construction and Site Guidelines," including:
 - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
 - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.

- c. Performing clearing and earthmoving activities only during dry weather.
- d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
- e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
- f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
- h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
- j. Limiting construction access routes and stabilization of designated access points.
- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
- l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
- n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.

Building Department

- 32. A building permit shall be issued prior to the start of any construction, demolition or grading activity.

Environmental Health Services

33. Provide details (i.e. cross-sections) of the domestic water supply line to all structures showing separation to the fire supply line (i.e. how is the domestic line to structures separate from the fire line to house sprinklers if required and if sprinklers are not required, conveyance of said water to fire storage tanks via air-gap, rpp device, check valve, etc.).
34. Certify the existing agricultural well conversion to domestic water source after completing a well pump test and satisfactory bacteriological test.
35. Show all components of the onsite wastewater treatment system (OWTS) components on all relevant civil sheets calling out setbacks to the OWTS, Ordinance Code Section 4.84.120 and Section 3 Onsite Systems Manual (OSM).
36. The applicant shall obtain an Employee Housing Permit from Environmental Health for the onsite housing of 5 or more laborers. An application shall be submitted annually to Environmental Health. If the operator opts out of housing 5 or more laborers on a given year, an application must be submitted for that year attesting to this fact.

San Mateo County Fire Department

Fire Department Access

37. CFC 2022 Section 503.1.1 [Amended] - Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
38. Exceptions: The fire code official is authorized to increase the dimension of 150 feet (45 720 mm) where any of the following conditions occur:
 - a. The building is equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3.
 - b. Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided.
 - c. There are not more than two Group R-3 or Group U occupancies.

- d. Where approved by the fire code official, fire apparatus access roads shall be permitted to be exempted or modified for solar photovoltaic power generation facilities and unmanned cellular sites.
- 39. CFC 2022 Section 503.2.3 - Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.
 - 40. CFC 2022 Section 503.2.5 - Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) in length shall be provided with an approved area for turning around fire apparatus. Turn-around areas for fire apparatus within San Mateo County Fire jurisdiction must comply with CFC 2022 Appendix D.
 - 41. CFC 2022 Section 503.2.7 - The grade of the fire apparatus access road shall be within the limits established by the fire code official based on the fire department's apparatus. Grading must comply with San Mateo County Fire Standard Detail CFS-004.
 - 42. All bridges used for fire department access shall meet Cal-Trans HS-20-44 loading standards and have a minimum rated capacity of 25 tons, (live load). A registered civil or structural engineer shall certify rated capacities. All bridges shall have the rated capacity posted on both entries. Turnouts are required at each end of one-lane bridges.

Smoke Alarms and Egress

- 43. CFC 2022 Section 907.2.11.2 - Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-2.2, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
 - a. On the ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms.
 - b. In each room used for sleeping purposes.
 - c. In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
 - d. In Group R-3.1 occupancies, in addition to the above, smoke alarms shall be provided throughout the habitable areas of the dwelling unit except kitchens.

Smoke Detectors shall be hardwired and interconnected.

44. CFC 2022 Section 1031.3.1 - Emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.53 m²).

Exception: The minimum net clear opening for grade-floor emergency escape and rescue openings shall be 5 square feet (0.46 m²).

45. CFC 2022 Section 1031.3.2 - The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm). The net clear opening dimensions shall be the result of normal operation of the opening.
46. CFC 2022 Section 1031.3.3 - Emergency escape and rescue openings shall have the bottom of the clear opening not greater than 44 inches (1118 mm) measured from the floor.
47. CFC 2022 Section 1031.4 - Where a door is provided as the required emergency escape and rescue opening, it shall be a swinging door or a sliding door.

Wildland-Urban Interface

This property is located in the SRA Medium Fire Severity Zone.

47. CBC 2022 Section 705A.1 - Roofs shall comply with the requirements of Chapter 7A and Chapter 15. Roofs shall have a roofing assembly installed in accordance with its listing and the manufacturer's installation instructions. Roof assemblies in the Fire Hazard Severity Zones shall be Class A rating when tested in accordance with ASTM E108 or UL790.
48. CFC 2022 Section 304.1.2 - Weeds, grass, vines or other growth that is capable of being ignited and endangering property, shall be cut down and removed by the owner or occupant of the premises. Vegetation clearance requirements in wildland-urban interface areas shall be in accordance with Chapter 49.
49. CFC 2022 Section 4907.1 - Hazardous vegetation and fuels shall be managed to reduce the severity of potential exterior wildfire exposure to buildings and to reduce the risk of fire spreading to buildings as required by applicable laws and regulations.
50. Defensible space will be managed around all buildings and structures in State Responsibility Areas (SRA) as required in Public Resources Code 4291.
51. CFC 2022 Section 4907.2 - Buildings and structures located in the following areas shall maintain the required hazardous vegetation and fuel management:

- a. All unincorporated lands designated by the State Board of Forestry and Fire Protection as a State Responsibility Area (SRA).
 - b. Land designated as a Very High Fire Hazard Severity Zone by the Director.
52. Land designated in ordinance by local agencies as a Very High Fire Hazard Severity Zone pursuant to Government Code Section 51179.

Water Tanks or Sources

53. CFC 2022 Section 507.1 - An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises on which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
54. CFC 2022 Section 507.2.1 - Private fire service mains and appurtenances shall be installed in accordance with NFPA 24 as amended in Chapter 80.
55. CFC 2022 Section 507.2.2 - Water tanks for private fire protection shall be installed in accordance with NFPA 22.
56. SMCFD Standard CFS-002 – Water Storage for One- and Two-Family Dwellings up to 3,600 sq. ft. shall be 7,500 gallons reserved for Fire, in addition to any domestic use. If larger than a 3600 sq. ft. single-family dwelling, use NFPA 1142.
57. SMCFD Standard CFS-002 - Water tanks shall be interconnected by using a minimum 4-inch pipe diameter.
58. Interconnection piping and valves must be protected, or of a material not damaged by UV exposure. The cross connection shall also have an appropriately sized control valve located at each tank.
59. NFPA 22 Section 4.2.1.2 - Where the water supply from a public service main is not adequate in quality, quantity, or pressure, an alternative water source shall be provided.
60. NFPA 22 Section 4.2.1.4 - The water supply shall be capable of filling the minimum required fire protection volume within the tank in a maximum of 8 hours.
61. NFPA 22 Section 4.15.2 - A vent pipe shall have a cross-sectional area equal to a minimum of one-half the area of the discharge pipe(s) or fill pipe, whichever is the larger.

62. NFPA 24 Section 4.2.1 - Installation work shall be done by fully experienced and responsible contractors. Contractors shall be appropriately licensed in the State of California to install private fire service mains and their appurtenances.
63. NFPA 24 Section 10.9.1 - Backfill shall be well tamped in layers or puddle under and around pipes to prevent settlement or lateral movement. Backfill shall consist of clean fill sand or pea gravel to a minimum 6 inches below and to a minimum of 12 inches above the pipe and shall contain no ashes, cinders, refuse, organic matter or other corrosive materials. Other backfill materials and methods are permitted where designed by a registered professional engineer and approved by the enforcing agency.
64. SMCFD Standard CFS-002 - Water tanks located closer than 30 feet of structures or flammable vegetation shall be constructed of non-combustible materials.

Fire Hydrants

65. SMCFD Standard CFS-002 - Hydrant supply pipe shall be listed and approved for fire protection service for underground pipe, such as AWWA C900. Pipe shall be buried a minimum of 30 inches below grade (36 inches if the pipe passes under a road or is subject to heavy loads).
66. SMCFD Standard CFS-002 - Hydrants shall have a permanent sign affixed, red in color with white 1-inch letters stating "Wet Draft Hydrant, No. gallons", with the gallons of water available for the hydrant provided.
67. All fire conditions and requirements must be incorporated into building plans for review and approval. It is the applicant's responsibility to notify their contractor, architect and engineer of these requirements.
68. Fire review is not construed as encompassing the structural integrity of the facility, nor abrogating more restrictive requirements by other agencies having responsibility. Final acceptance is subject to field inspection and necessary tests.
69. NOTE: An additional re-inspection fee may be charged for missed appointments, failure to comply or not being ready.
70. For additional information or to schedule an inspection, contact the San Mateo County Fire Department Fire Marshal's Office at SMCFDfiremarshal@fire.ca.gov.

Civil/Drainage Section

Incorporate the identified items below into the Building Permit Application Submittal.

71. Additional drainage related detail will be required for the formal civil/drainage plan submittal.

72. Advisory: The project will likely be classified as a “C.3 Regulated” (Standard Review) project. This classification of project is required to have a comprehensive precise drainage plan and drainage report prepared by a California Registered Professional Civil Engineer (PE). Ensure to reference the SMCWPPP - San Mateo County Wide C.3 Regulated Projects Guide for requirements and Site Design Measures.
- a. It appears that pervious pavers and pavement is proposed for parking areas and walkways, please ensure that the slopes of these assemblies does not exceed 5%. Generally most pervious paving products only function as intended with 5% slope or less.
 - b. Please direct any drainage away from septic tank dispersal fields. See Table 5-3 of the San Mateo Drainage Manual for setback info.
 - c. Velocity mitigation and energy dissipation shall be required for bubble-up drainage outlets.
 - d. Please clearly label the FEMA flood zone A boundary on the plans.

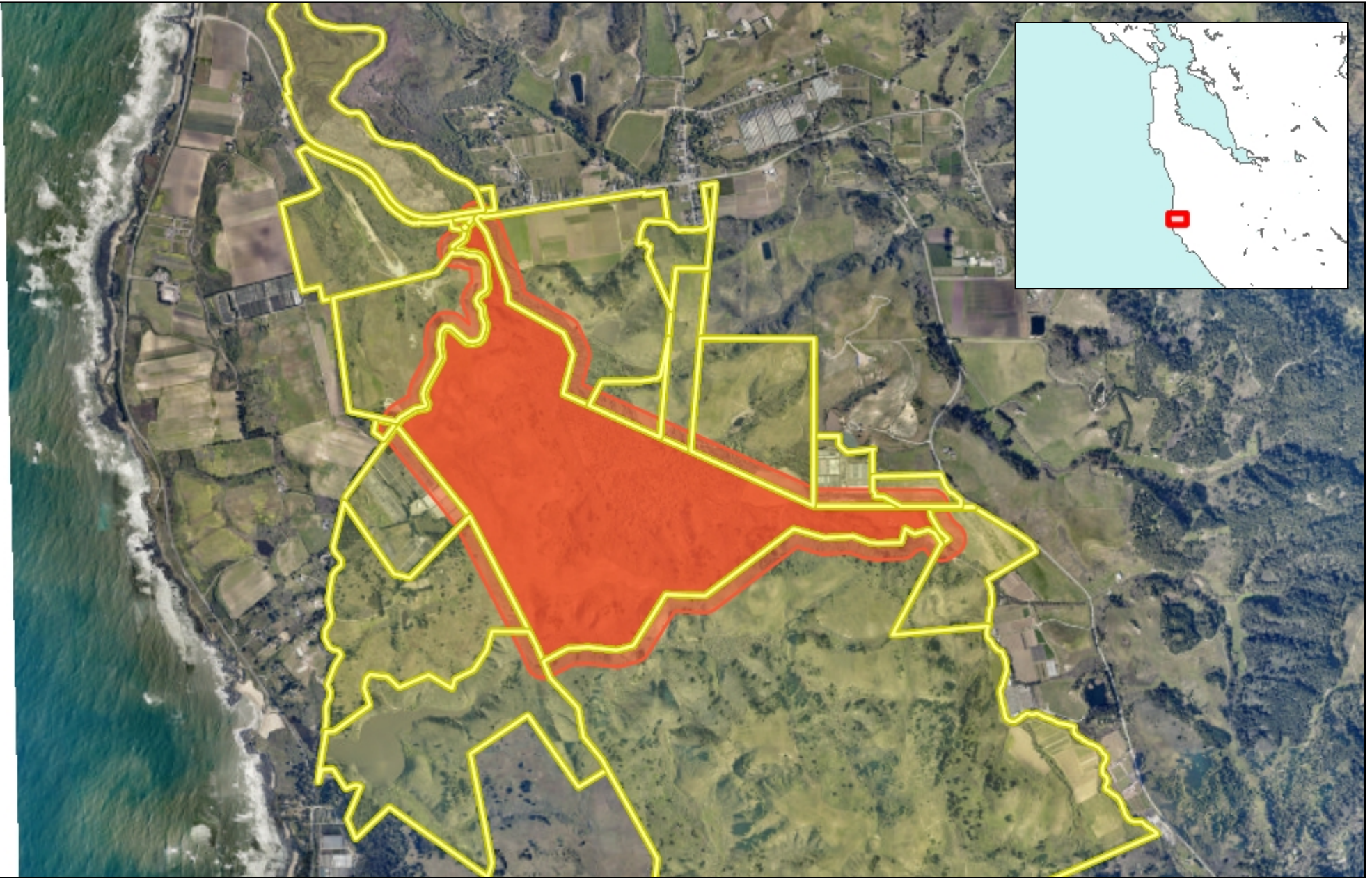
Geotechnical Section

73. The project shall comply with County Geotechnical requirements at the building permit stage.




COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



1.14 0 0.57 1.14 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:36,112 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C

PERMITTING SUBMITTAL
NOT FOR CONSTRUCTION

POST CLOVERDALE RANCH FIFTH CROW FARM BACKFIELD FARM LABOR HOUSING PROJECT

PROJECT DESCRIPTION:

THE PROJECT PROPOSES TO INSTALL TWO SEMI-PREFABRICATED DUPLEX HOMES (FOUR HOUSING UNITS) FOR FARM LABOR HOUSING AND ASSOCIATED SEPTIC LEACH FIELD, 5,000 GALLON WATER TANK AND PARKING. THE HOMES WILL BE ACCESSED VIA AN EXISTING DRIVEWAY OFF CLOVERDALE ROAD.

PROJECT CONFORMS WITH THE 2016 CRC, CENC, CEC, CMC, CPC AND CALGREEN. ALL SECTIONS ON PLAN REFERENCE THE 2022 CALIFORNIA CODES

GRADING VOLUMES

CUT: 0 CY
FILL: 850 CY

PROJECT LOCATION

4309 CLOVERDALE ROAD
PESCADERO, CA
APN 086-270-010

SHEET INDEX

| SHEET | TITLE |
|-------|---|
| 1 | TITLE SHEET |
| 2 | SITE PLAN |
| 3 | CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) |
| 4 | DETAILS 1 |
| 5 | DETAILS 2 |

GRADING AND EROSION CONTROL

| | |
|-----|-----------------------------------|
| C-1 | GRADING AND DRAINAGE PLAN |
| C-2 | EROSION AND SEDIMENT CONTROL PLAN |

BUILDING

| | |
|-------|------------------------|
| 000 | COVER |
| 001 | NOTES |
| 101-A | FIRST LEVEL ARCH. PLAN |
| 301 | ELEVATIONS |
| 302 | ELEVATIONS |
| 401 | FOUNDATION LAYOUT |
| 701 | BUILDING SECTIONS |

SEPTIC

SEPTIC SYSTEM PLAN

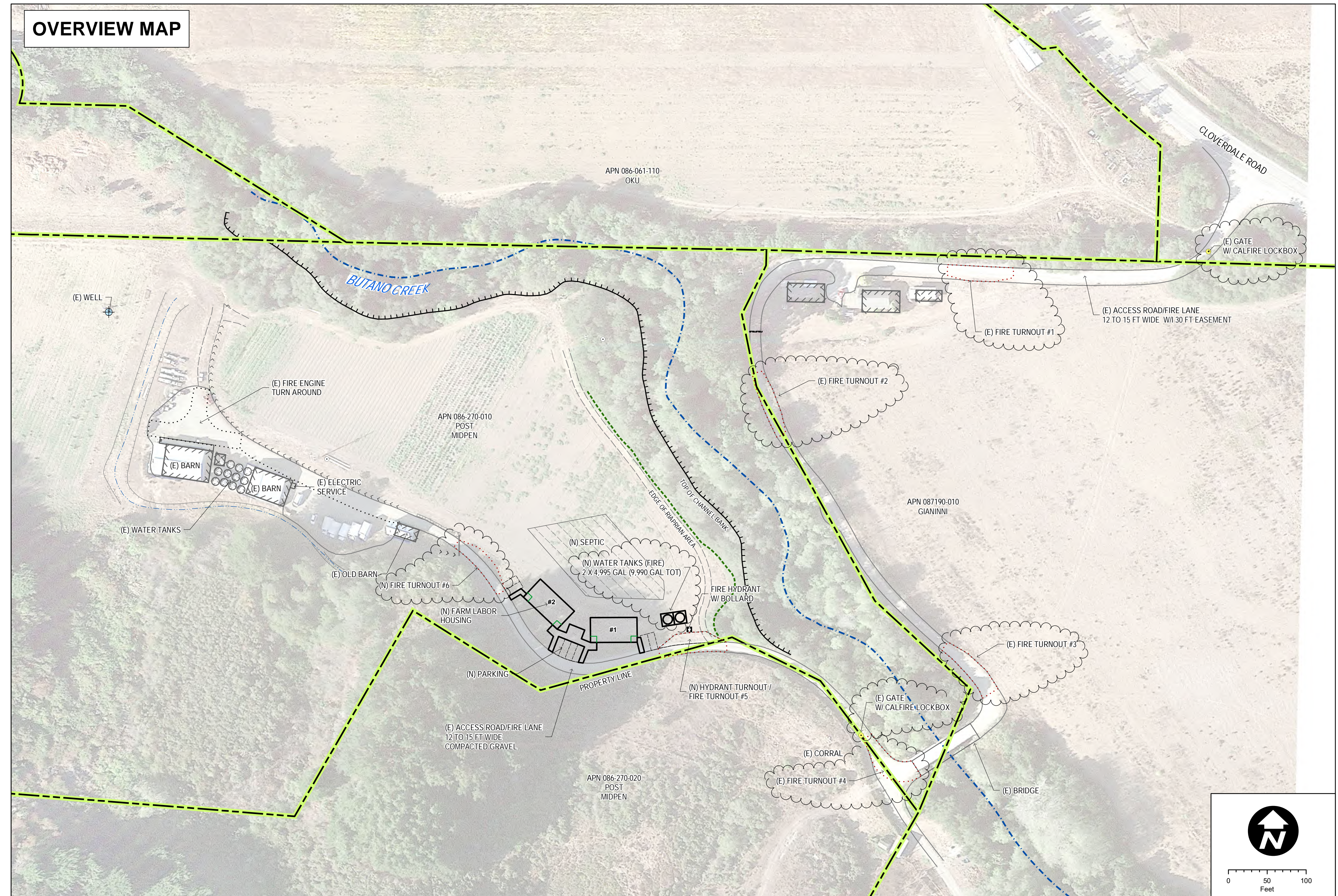
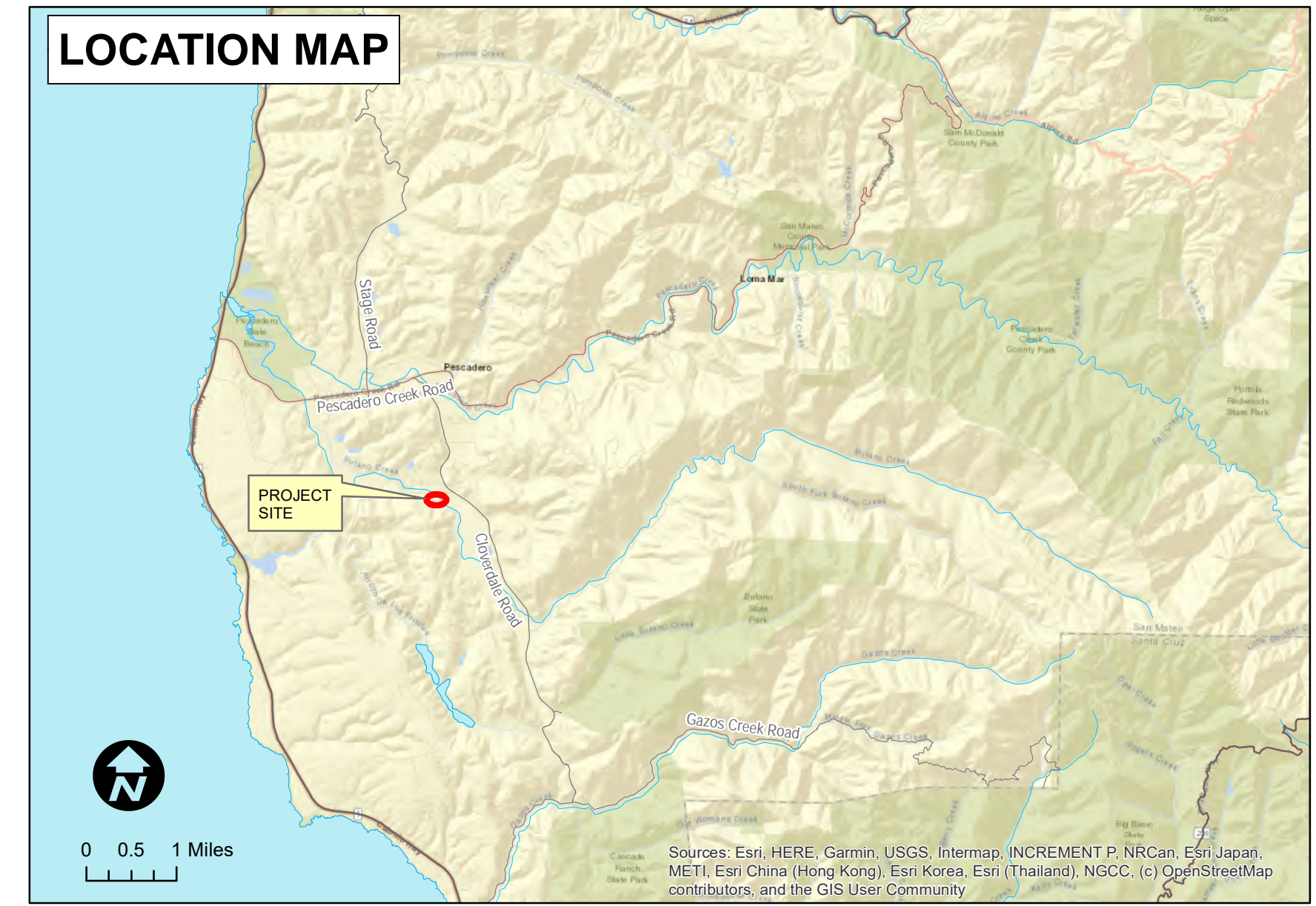
CONTACTS

OWNERS
PENINSULA OPEN SPACE TRUST
222 HIGH STREET
PALO ALTO, CA 94301
650-352-6239
CONTACT: LAURA O'LEARY

MIDPENINSULA OPEN SPACE DISTRICT
330 DISTEL CIRCLE
LOS ALTOS, CA 94022
(650) 691-1200
CONTACT: ALLEN ISHIBASHI
REAL PROPERTY MANAGER
aishibashi@openspace.org

LANDSCAPE PLANNER
SANDY SOMMER
661 PETTIS AVE
MOUNTAIN VIEW, CA 94041
(510) 541-8514

CIVIL AND GEOTECHNICAL ENGINEER
SIGMA PRIME GEOSCIENCES, INC
332 PRINCETON AVENUE
HALFMOON BAY, CA 94019
(650) 728-3590
CONTACT: CHARLES KISSICK



PENINSULA OPEN SPACE TRUST
222 HIGH STREET PALO ALTO, CA 94301
(650) 352-6239
POST

PROJECT:
FIFTH CROW FARMS
BACKFIELD FARM LABOR HOUSING PROJECT
4309 CLOVERDALE ROAD, PESCADERO, CA
APN 086-270-010
SAN MATEO COUNTY, CA

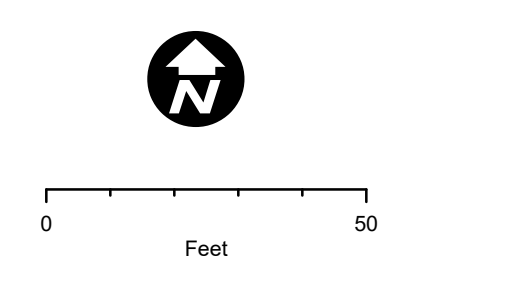
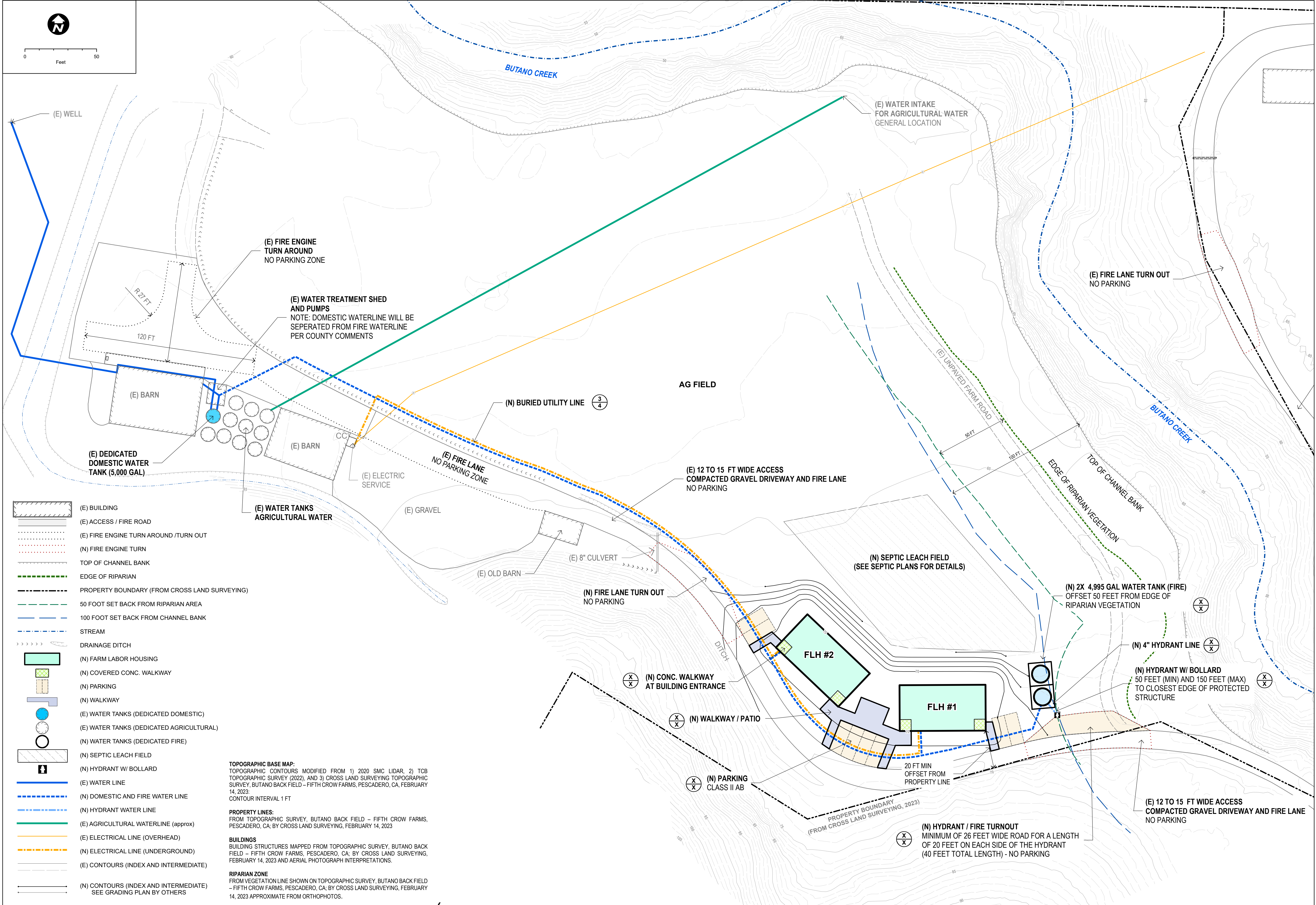
TITLE:
TITLE SHEET

REVISIONS:

| No. | Date | Description |
|-----|---------|--|
| 1 | 1/15/24 | LOCK BOX AT GATE ADDED FIRE WATER TANK UPSEIZED |

DATE: March 21 2024
PROJECT:
DRAWN BY: TB
CHECKED: TIBLO

SHEET NUMBER
1



- (E) BUILDING
- (E) ACCESS / FIRE ROAD
- (E) FIRE ENGINE TURN AROUND / TURN OUT
- (N) FIRE ENGINE TURN
- TOP OF CHANNEL BANK
- EDGE OF RIPARIAN
- PROPERTY BOUNDARY (FROM CROSS LAND SURVEYING)
- 50 FOOT SET BACK FROM RIPARIAN AREA
- 100 FOOT SET BACK FROM CHANNEL BANK
- STREAM
- DRAINAGE DITCH
- (N) FARM LABOR HOUSING
- (N) COVERED CONC. WALKWAY
- (N) PARKING
- (N) WALKWAY
- (E) WATER TANKS (DEDICATED DOMESTIC)
- (E) WATER TANKS (DEDICATED AGRICULTURAL)
- (N) WATER TANKS (DEDICATED FIRE)
- (N) SEPTIC LEACH FIELD
- (N) HYDRANT W/ BOLLARD
- (E) WATER LINE
- (N) DOMESTIC AND FIRE WATER LINE
- (N) HYDRANT WATER LINE
- (E) AGRICULTURAL WATERLINE (approx)
- (E) ELECTRICAL LINE (OVERHEAD)
- (N) ELECTRICAL LINE (UNDERGROUND)
- (E) CONTOURS (INDEX AND INTERMEDIATE)
- (N) CONTOURS (INDEX AND INTERMEDIATE) SEE GRADING PLAN BY OTHERS

PENINSULA OPEN SPACE TRUST
 222 HIGH STREET PALO ALTO, CA 94301
 (650) 854-7696

PROJECT:
FIFTH CROW FARMS
BACKFIELD FARM LABOR HOUSING PROJECT
 4309 CLOVERDALE ROAD, PESCADERO, CA
 APN 086-270-010
 SAN MATEO COUNTY, CA

TITLE:
SITE PLAN

REVISIONS:
 No. Date Description

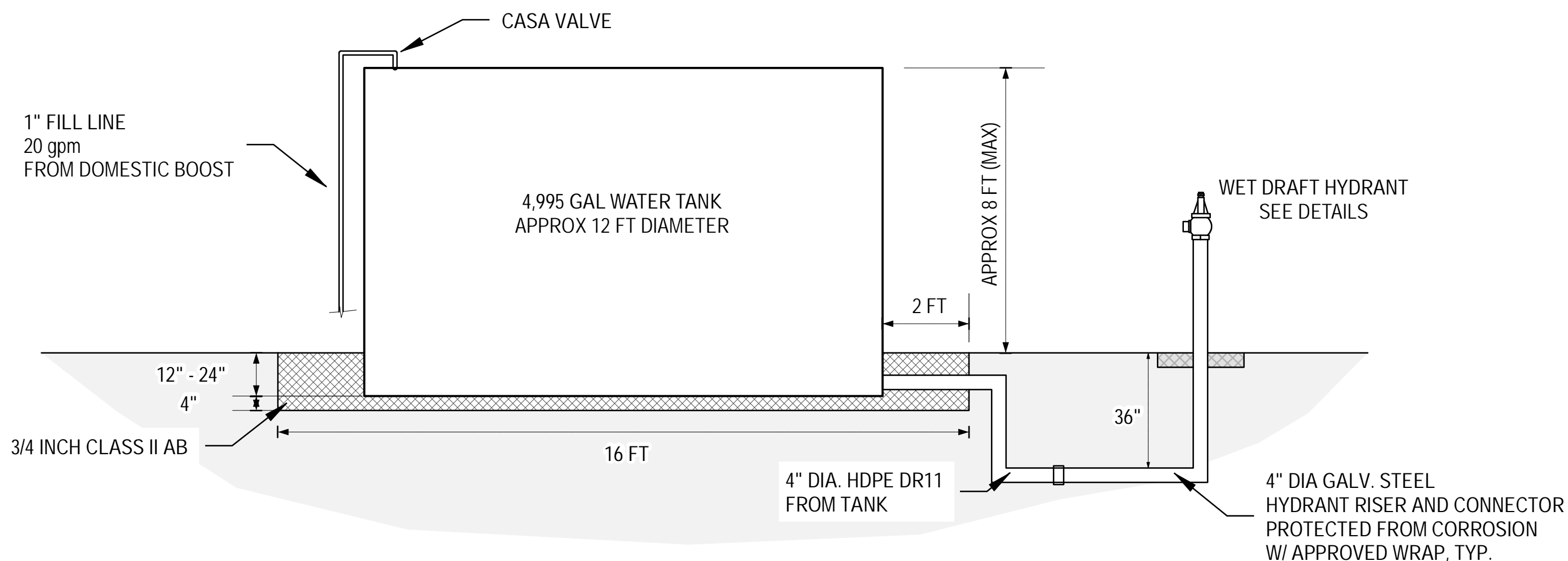
DATE: September 24, 2024
 PROJECT: DRAWN BY: TB
 CHECKED: TIBLO

SHEET NUMBER
2

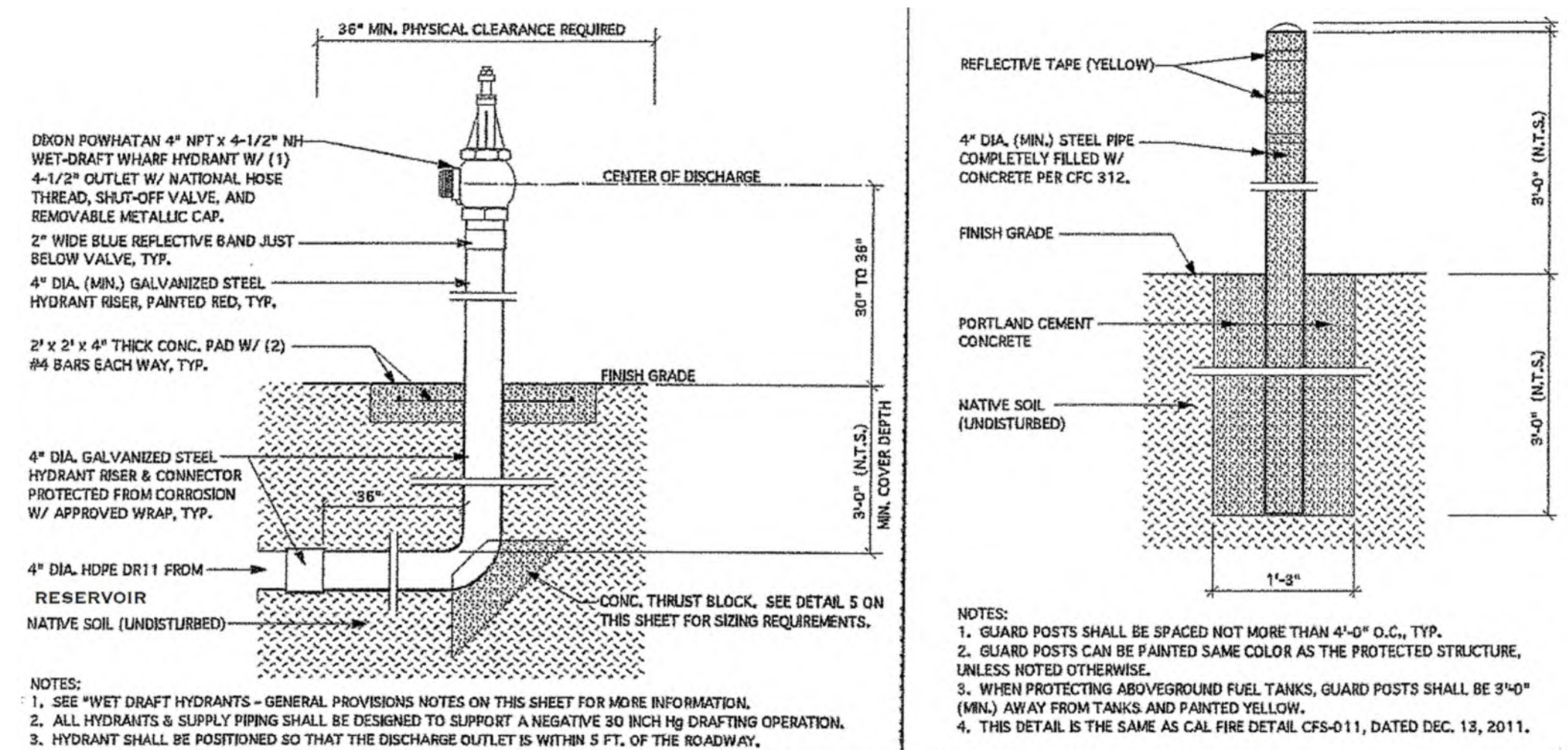
FIRE NOTES

- ON THE SUBJECT PROPERTY, ALL EMERGENCY ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED MINIMUM WIDTH OF 12 FEET WITH 20 FOOT WIDE TURNOUTS AT APPROXIMATE 400 FOOT SPACINGS. TURNOUTS SHALL CONSIST OF A 20 FOOT WIDE, 35 FOOT LONG IMPROVED SURFACE WITH A 25 FOOT TAPER TO THE ROADWAY (BOTH ENDS). WHERE THE HYDRANT IS LOCATED, THE ROAD SHALL BE A MINIMUM OF 26 FEET WIDE FOR A LENGTH OF 20 FEET ON EACH SIDE OF THE HYDRANT.
- HYDRANT SHALL BE LOCATED NO CLOSER THAN 50 FEET TO ANY BUILDING, NO FURTHER AWAY THAN 150 FEET OF THE PROTECTED STRUCTURE, AND BE LOCATED ON THE FIRE DEPARTMENT ACCESS SIDE OF THE BUILDING
- TRIM OVERHANGING VEGETATION AS NECESSARY TO MAINTAIN 15 FT VERTICAL CLEARANCE AT ALL EMERGENCY ACCESS ROADS.
- PROVIDE NO PARKING / FIRE LANE SIGNAGE PER REQUIREMENTS AS NEEDED TO ADEQUATELY INDICATE AREAS SUBJECT TO PARKING RESTRICTION .
- NO NEW GATES ARE PROPOSED AS PART OF THE PROJECT. GATES SHALL BE A MINIMUM OF 2 FEET WIDER THAN THE ROADWAY THEY SERVE. THE SAN MATEO COUNTY FIRE DEPARTMENT REQUIRES THE INSTALLATION OF A KNOX BOX OR KNOX PADLOCK AT ANY GATES, TO ALLOW RAPID RESPONSE OF EMERG ENCY VEHICLES IN CASE OF A FIRE OR MEDICAL EMERGENCY
- NEW RESIDENTIAL BUILDINGS SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE FARM ACCESS ROAD. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY.
- ADDITIONAL ADDRESS SIGNAGE AT THE DRIVEWAY/ROADWAY ENTRANCE AT CLOVERDALE ROAD SHALL BE PROVIDED, CONSISTING OF A 6 INCH BY 1 8 INCH GREEN REFLECTIVE METAL SIGN WITH 3 INCH REFLECTIVE NUMBERS/ LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT.
- A FUEL BREAK OR DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO THE PROPERTY LINE.
- NO LIVING TREES SHALL BE REMOVED. TREES LOCATED WITHIN THE DEFENSIBLE SPACE DESCRIBED ABOVE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.
- REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5' OF ANY STRUCTURE. REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5' OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.

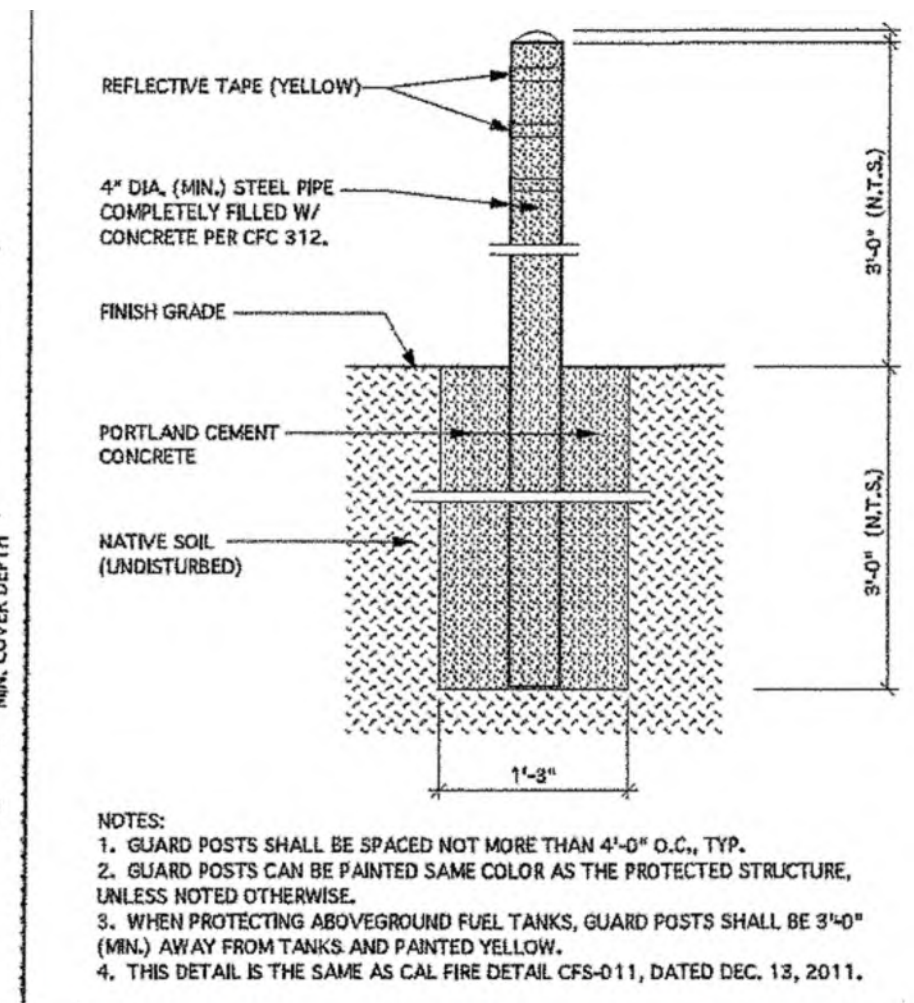
WATER TANK (FIRE SUPPRESSION) DETAIL



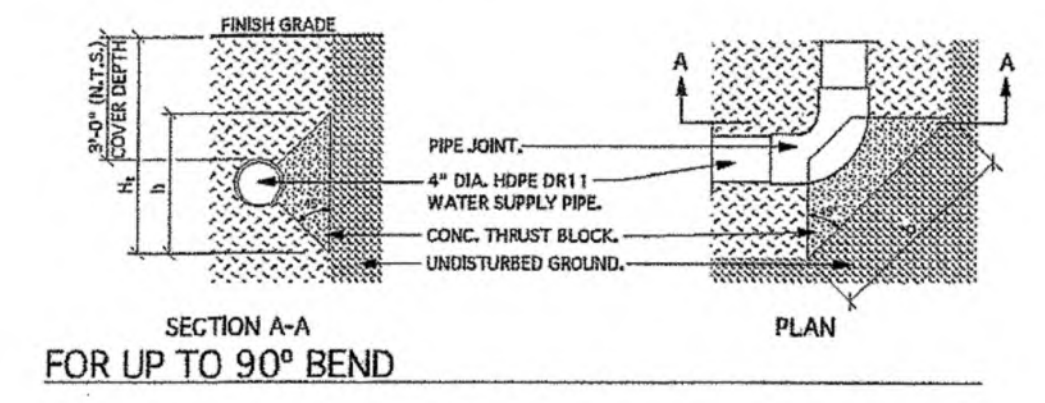
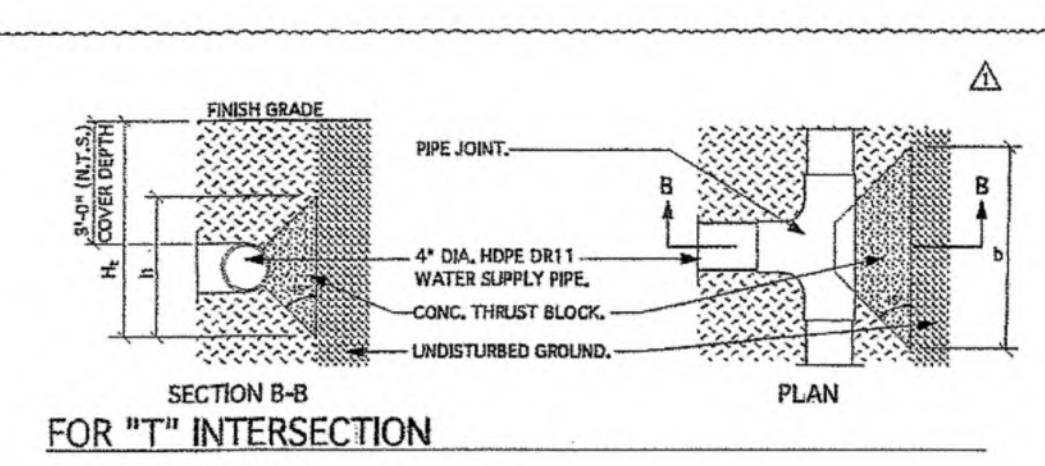
CALFIRE DETAILS



NEW WET-DRAFT HYDRANT & SUPPLY PIPE



BOLLARDS @ HYDRANT



FROM NFPA24, TABLE A.10.8.2(a): Thrust at Fittings at 100 psi Water Pressure for Ductile Iron and PVC Pipe

| Nominal Pipe Diameter (in.) | Total Pounds | | | | |
|-----------------------------|--------------|----------|----------|--------------|--------------|
| | Dead End | 90° Bend | 45° Bend | 22-1/2° Bend | 11-1/4° Bend |
| 4" | 1,810 | 2,259 | 1,385 | 706 | 355 |

HORIZONTAL BEARING STRENGTH, PER SOILS LETTER BY ROMIG ENGINEERS DATED 07/31/2014 @ 2500 PSF:

TO DETERMINE THE THRUST BLOCK BEARING AREA, USE THE FOLLOWING EQUATIONS:

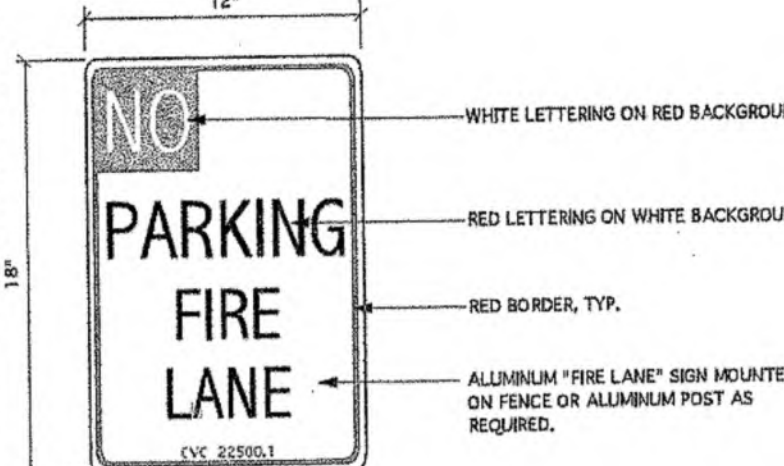
$A = h \times b = \frac{\text{Thrust} \times \text{Safety Factor}}{\text{Soil bearing strength}}$ FOR 90° BEND: $A = 2,259 \text{ lbs.} \times 1.5 = 3,389 \text{ sq. ft.}$

$b = 2 \times \text{Safety Factor} \times \frac{\text{Thrust}}{\text{height} \times \text{Soil bearing strength}}$ FOR 90° BEND: $b = 2 \times 1.5 \times \frac{2,259 \text{ lbs.}}{1.9 \text{ ft.} \times 2500} = 1.43 \text{ ft.}$

FOR 90° BEND: $h = A / b = 3,389 / 1.43 = 0.95 \text{ ft.}$

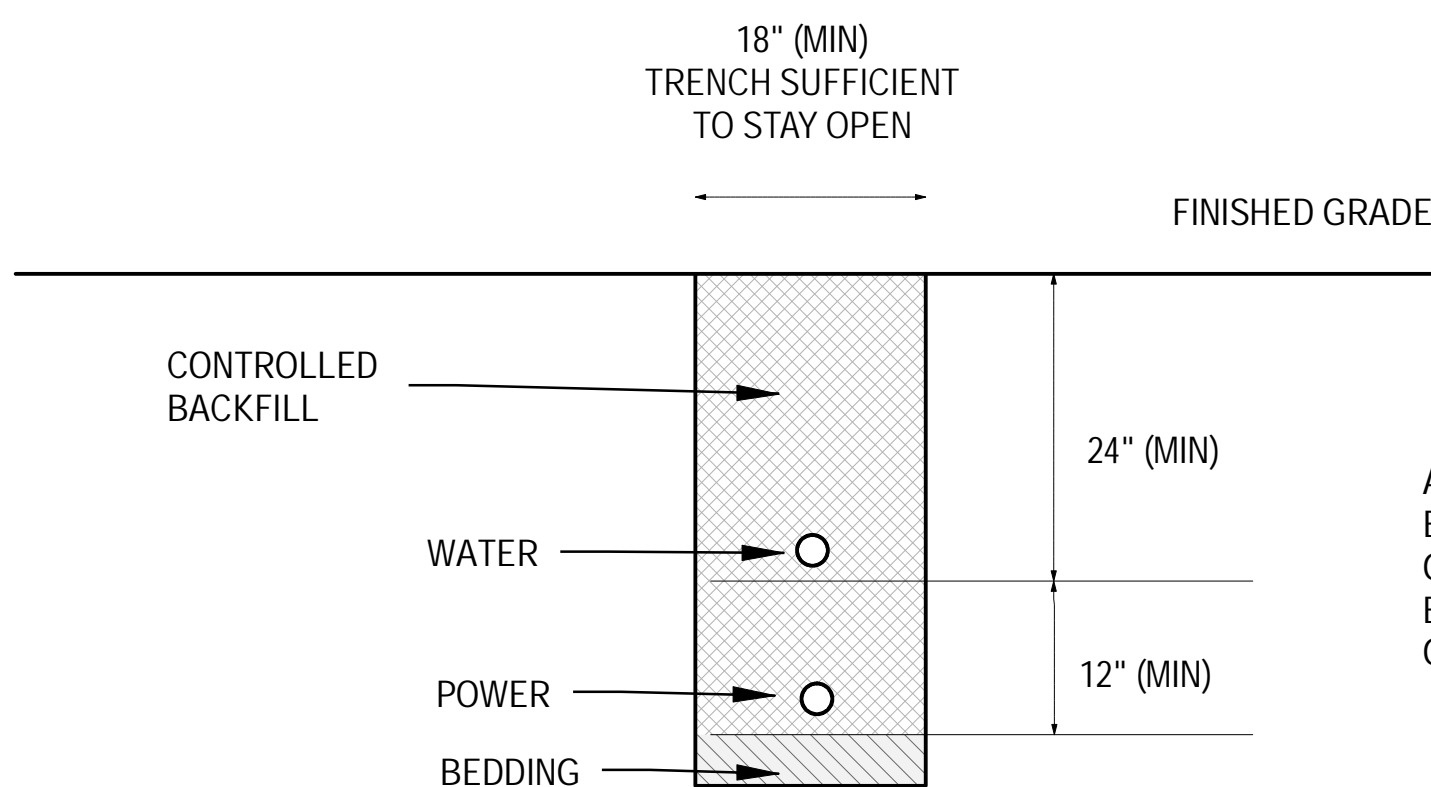
NOTES:
 1. THE THRUST BLOCK BEARING SURFACE SHOULD BE PLACED AGAINST UNDISTURBED SOIL, OR DISTURBED SOIL THAT HAS BEEN COMPACTED TO AT LEAST 80% STANDARD PROCTOR DENSITY.
 2. THRUST BLOCK HEIGHT SHOULD BE EQUAL TO OR LESS THAN 1/2 THE TOTAL DEPTH TO THE BOTTOM OF THE BLOCK (h) BUT NOT LESS THAN THE PIPE DIAMETER.
 3. BLOCK HEIGHT (h) SHOULD BE CHOSEN SUCH THAT THE CALCULATED BLOCK WIDTH (b) VARIES BETWEEN 1 AND 2 TIMES THE HEIGHT.

TYP. THRUST BLOCK @ HYDRANT SUPPLY PIPE



FIRE LANE SIGNAGE

TRENCH DETAIL



ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS PER GRADING PLANS AND GEOTECHNICAL REPORT. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE. AND THEN FILLED WITH HAND TAMPED SOILS.

PENINSULA OPEN SPACE TRUST
 222 HIGH STREET BALO, ALTO, CA 94301
 (850) 854-7996

POST

PROJECT:
 FIFTH CROW FARMS
 BACKFIELD FARM LABOR HOUSING PROJECT
 4309 CLOVERDALE ROAD, PESCADERO, CA
 APN 086-270-010
 SAN MATEO COUNTY, CA

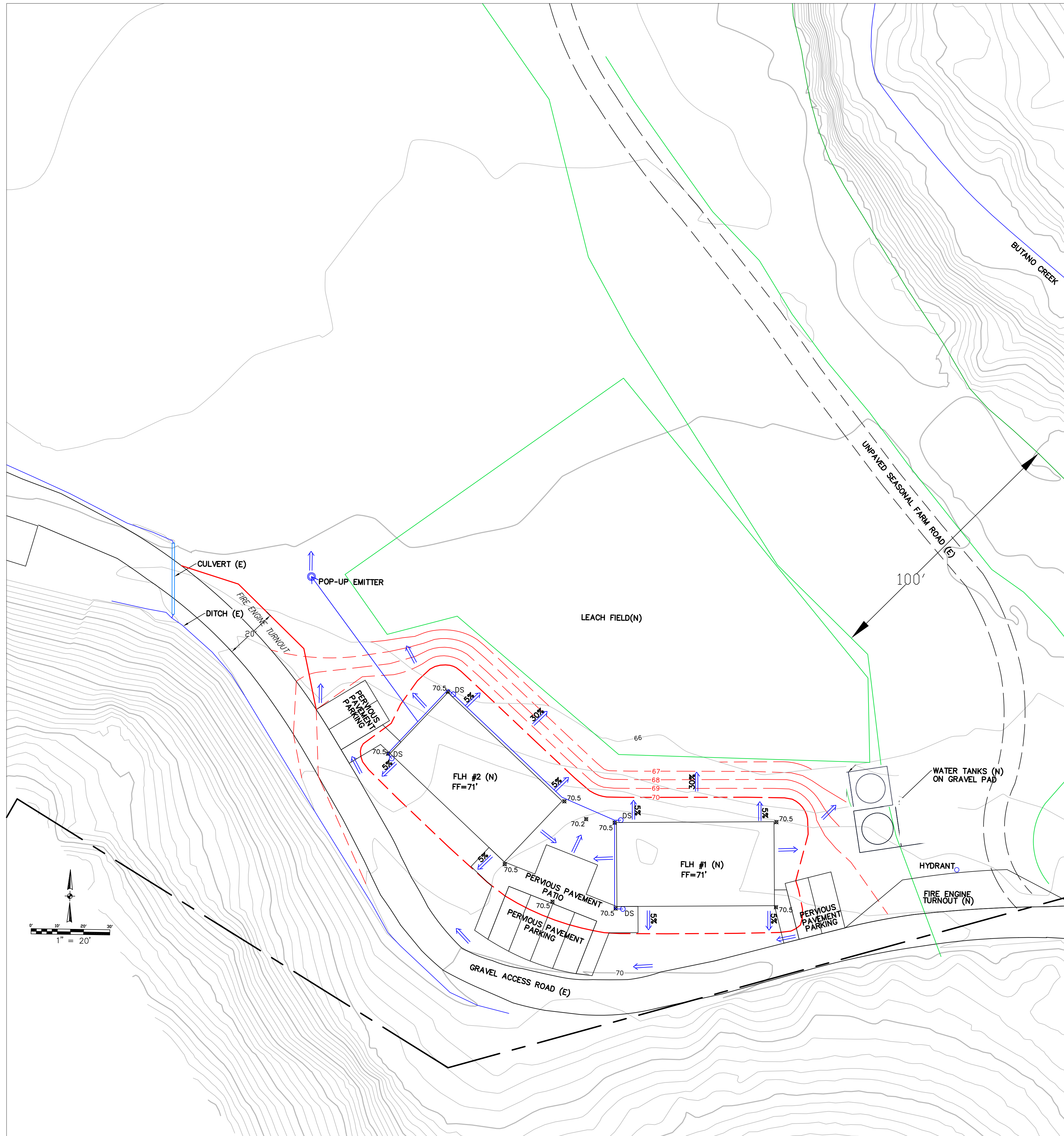
TITLE:
DETAILS 1

REVISIONS:
 No. _____ Date _____ Description _____

DATE: August 29 2023
 PROJECT: FIFTH CROW FARMS
 DRAWN BY: TB
 CHECKED: TIBLO

SHEET NUMBER
4

PERMITTING SUBMITTAL
 NOT FOR CONSTRUCTION

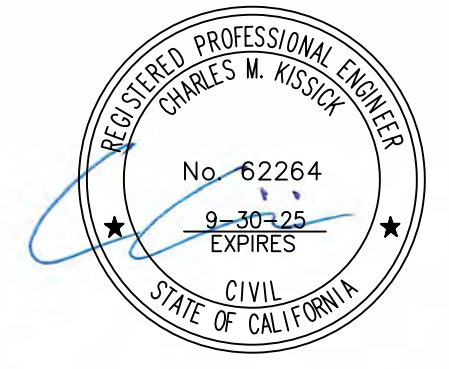
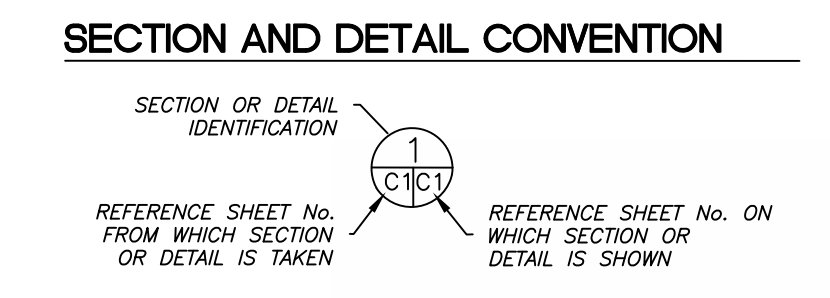


- LEGEND**
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - DS
DOWNSPOUT
 - 4" SOLID DRAIN PIPE
 - DIRECTION OF SURFACE DRAINAGE
 - 70.5 PROPOSED SPOT ELEVATION

- GENERAL NOTES**
1. PLANS PREPARED AT THE REQUEST OF:
LAURA O'LEARY, POST MANAGER
 2. TOPOGRAPHY BY OTHERS FROM AERIAL SURVEY.
 3. THIS IS NOT A BOUNDARY SURVEY.
 4. ELEVATION DATUM NAVD88.

- DRAINAGE NOTES**
1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
 2. ALL NEW DOWNSPOUT DRAIN LINES SHALL LEAD TO POP-UP EMITTER, AS SHOWN.
 3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
 4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS AND DOWNSPOUT LINES, TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.
 5. SEE SHEET 2 FOR TRENCH LOCATIONS.

- GRADING NOTES**
- CUT VOLUME : 0 CY
FILL VOLUME: 850 CY
- VOLUMES ABOVE ARE APPROXIMATE.
- PERVIOUS PAVING DETAIL ON SHEET 2.
- THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASE ROCK COMPACTED TO 95%.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

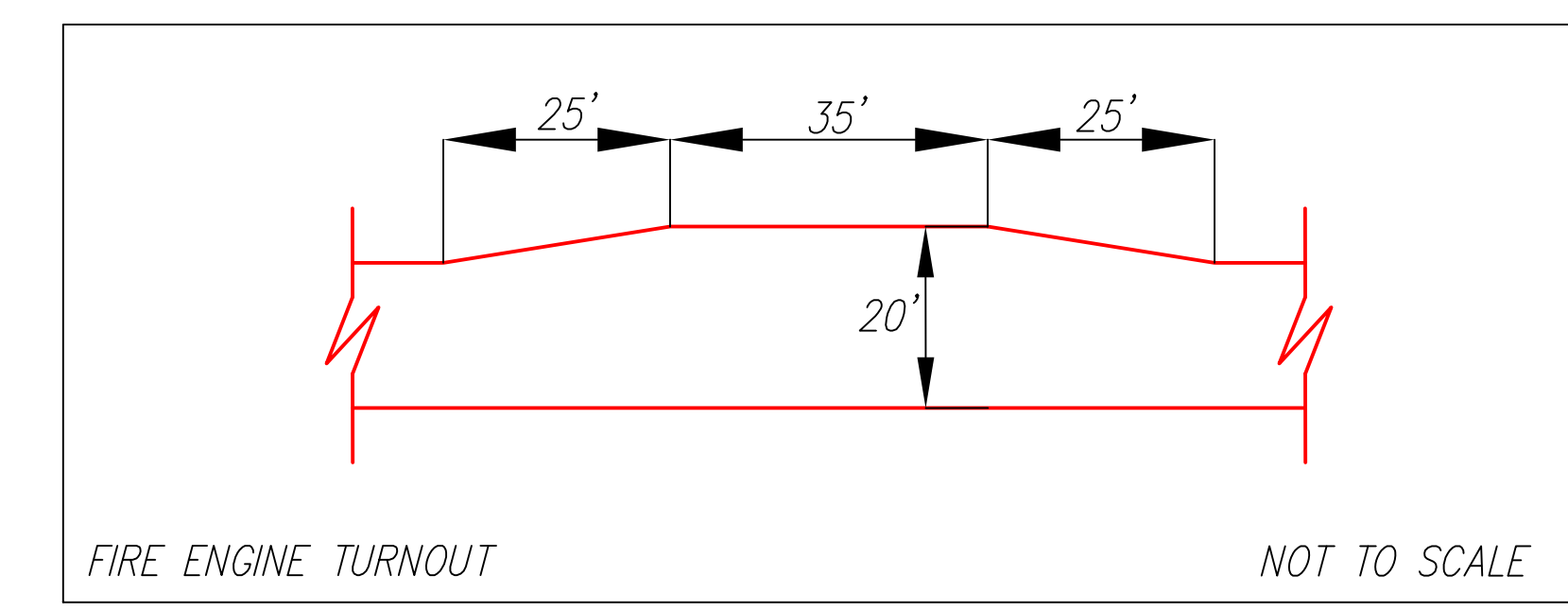


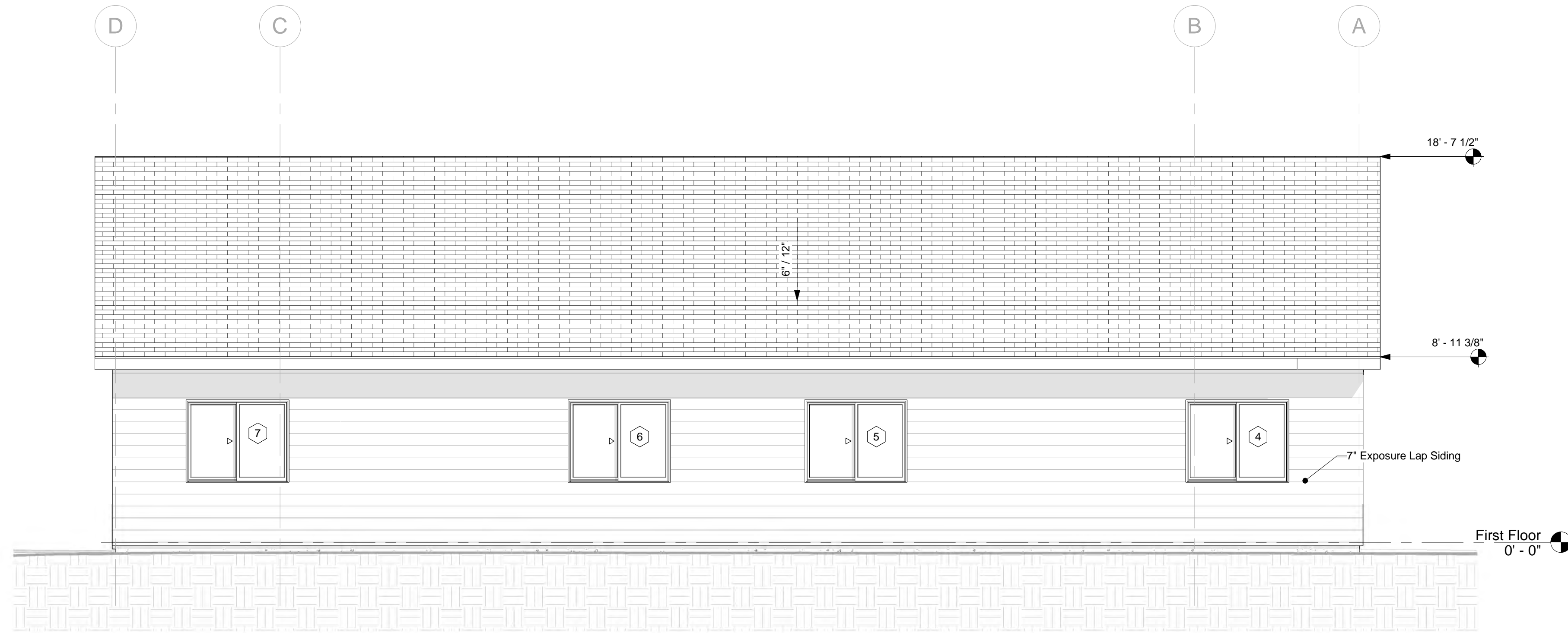
Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 726-5580
 FAX 726-5585

| | | | | | |
|---------------|---------------|-----------------|--------------------|------------|------------|
| DATE: 8-28-23 | DRAWN BY: CMK | CHECKED BY: AZG | REV. DATE: 8-15-24 | REV. DATE: | REV. DATE: |
|---------------|---------------|-----------------|--------------------|------------|------------|

GRADING AND DRAINAGE PLAN
 5TH CROW FARM, BACKFIELD
 4309 CLOVERFIELD ROAD
 PESCADERO
 APN 047-274-140,050

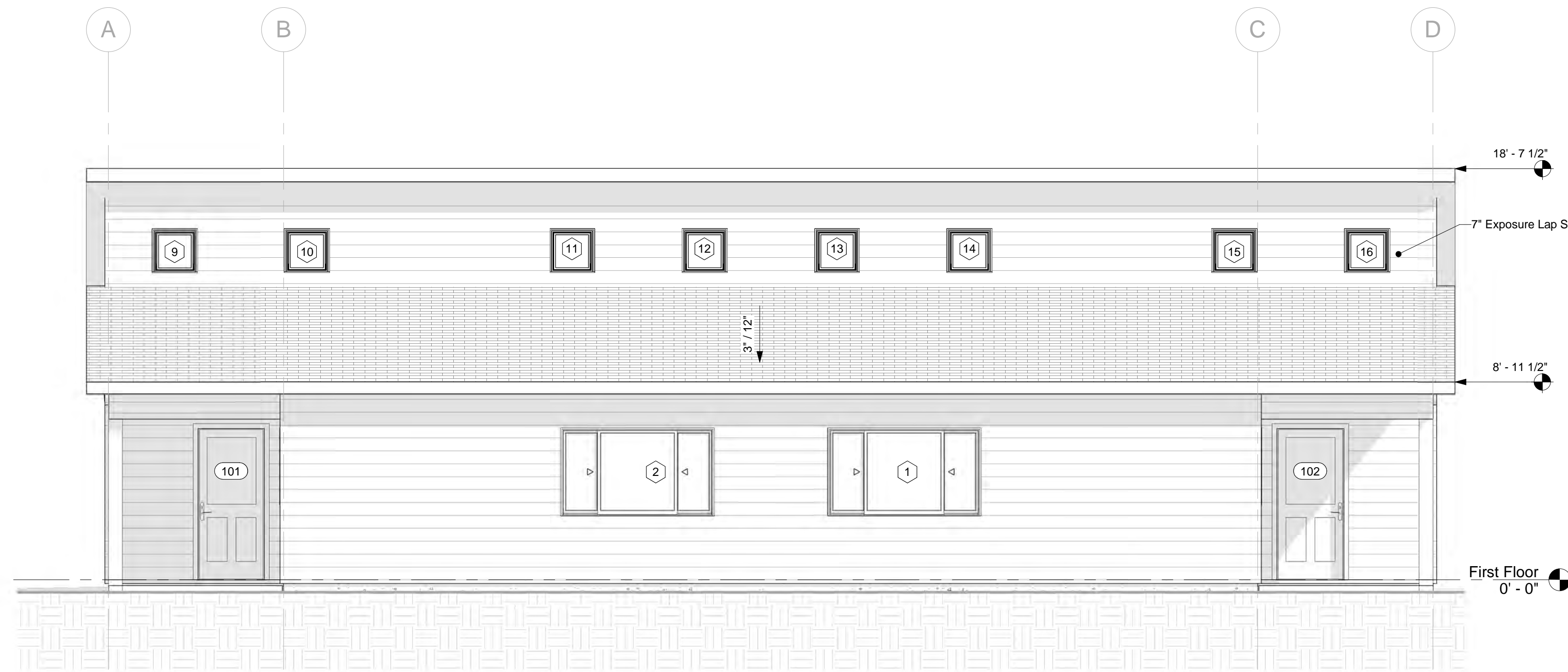
SHEET
C-1





① North
1/4" = 1'-0"

| Exterior Finish Schedule | | | |
|--------------------------|-----------------|----------|-------|
| Location | Material | Finish | Color |
| Corner Trim | Engineered Wood | Textured | TBD |
| Fascia | Engineered Wood | Textured | TBD |
| Roof | Engineered Wood | Textured | TBD |
| Siding | Engineered Wood | Textured | TBD |
| Soffit | Engineered Wood | Textured | TBD |
| Window Trim | Engineered Wood | Textured | TBD |



② South
1/4" = 1'-0"

| No. | Description | Date |
|-----|---------------|----------|
| 0 | Initial Plans | 3/8/2023 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

Fifth Crow Farm

Ridgeline A on Slab

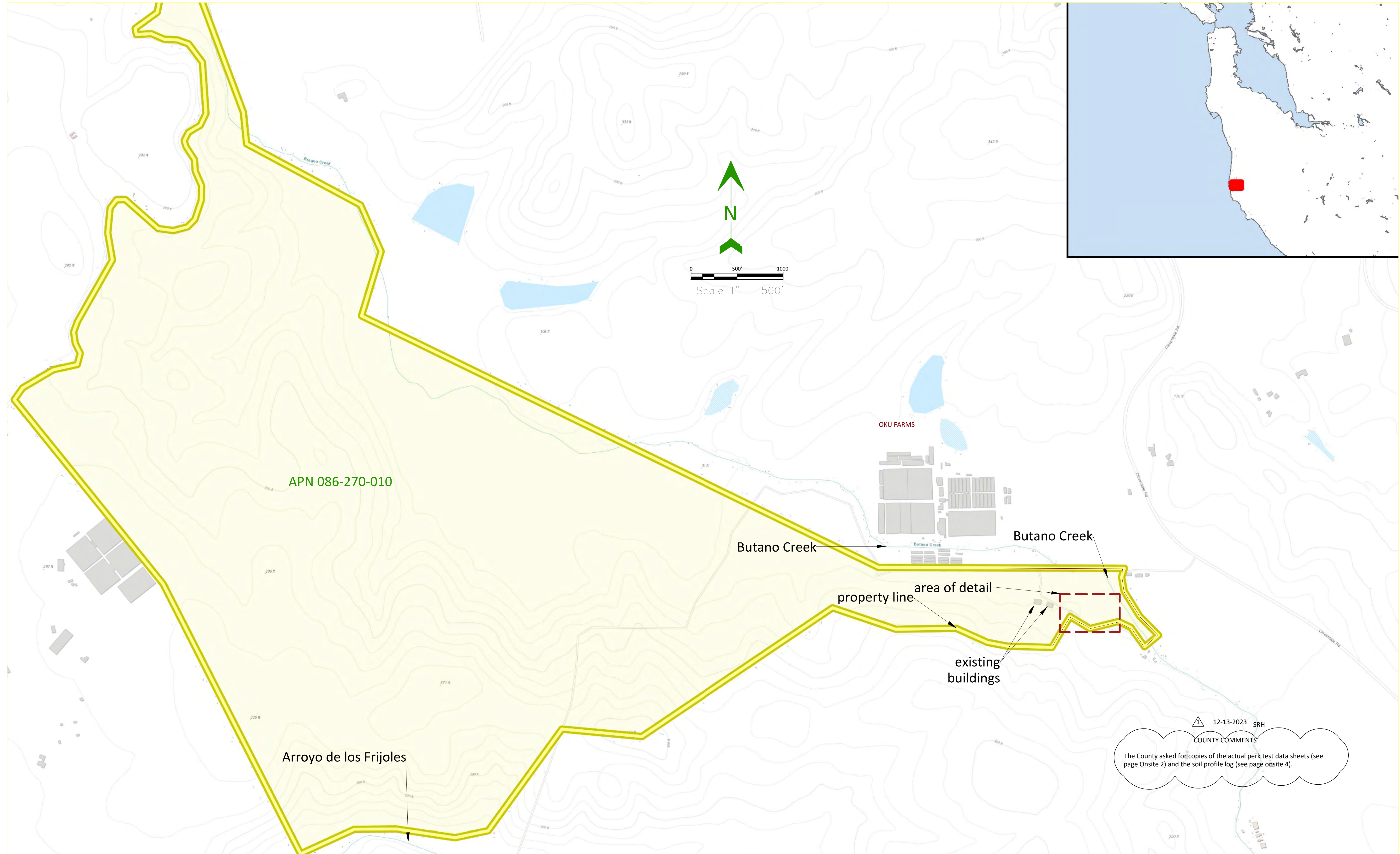
Job Number 22067
 Drawing Number 23RI-102
 Project Manager Designer
 Drafter TH

Elevations

301

Scale 1/4" = 1'-0"

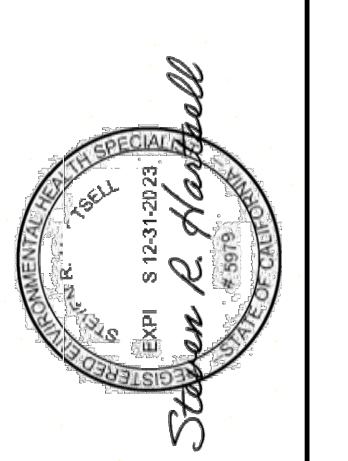
Contour map of entire 543.45 acre parcel from County of San Mateo Planning and Building Map Viewer



REVISIONS

12-13-2023 SRH
County comments

| | |
|--|--|
| | |
| | |
| | |
| | |
| | |



S. R. HARTSELL, R.E.H.S.
202 WATERFORD DRIVE
VACAVILLE, CA 95688
srhartsel@gmail.com (650) 885-2419

SEPTIC SYSTEM
OVERALL
SITE PLAN

FARM LABOR HOUSING
4309 CLOVERDALE ROAD
PESCADERO, CA 94060
APN 086-270-010

12-13-2023 SRH
COUNTY COMMENTS
The County asked for copies of the actual perk test data sheets (see page Onsite 2) and the soil profile log (see page onsite 4).

June 7, 2023

SCALE AS NOTED

BY SRH

PAGE

onsite 1

1 OF 4

PROJECT DISCUSSION

There are plans to install two four bedroom farm labor housing units on this 500 plus acre property as shown here. In order to provide sanitary wastewater treatment and disposal for these dwellings septic systems will be needed. This plan was developed to show where and how a septic system will be installed to serve these four housing units.

Two perk tests were performed, both of which produced "A" rates. Since ground water was present at a depth of 9' 10" when the soil profile trench was excavated, these systems utilize shallow trenches with Quick Four High Capacity Infiltrator Chambers at a total depth of about 3' instead of rock. The County requires that twice the normal linear trench length is required for these systems.

This system serves two 4 bedroom structures. Each 4 bedroom structure will utilize a 1500 gallon septic tank for primary treatments as shown. Each structure is required to have four leach fields, each of which is required to have 180 linear feet of leach trench. The two leach systems are combined into one system with four leach fields each with 360 linear feet of leach trench.

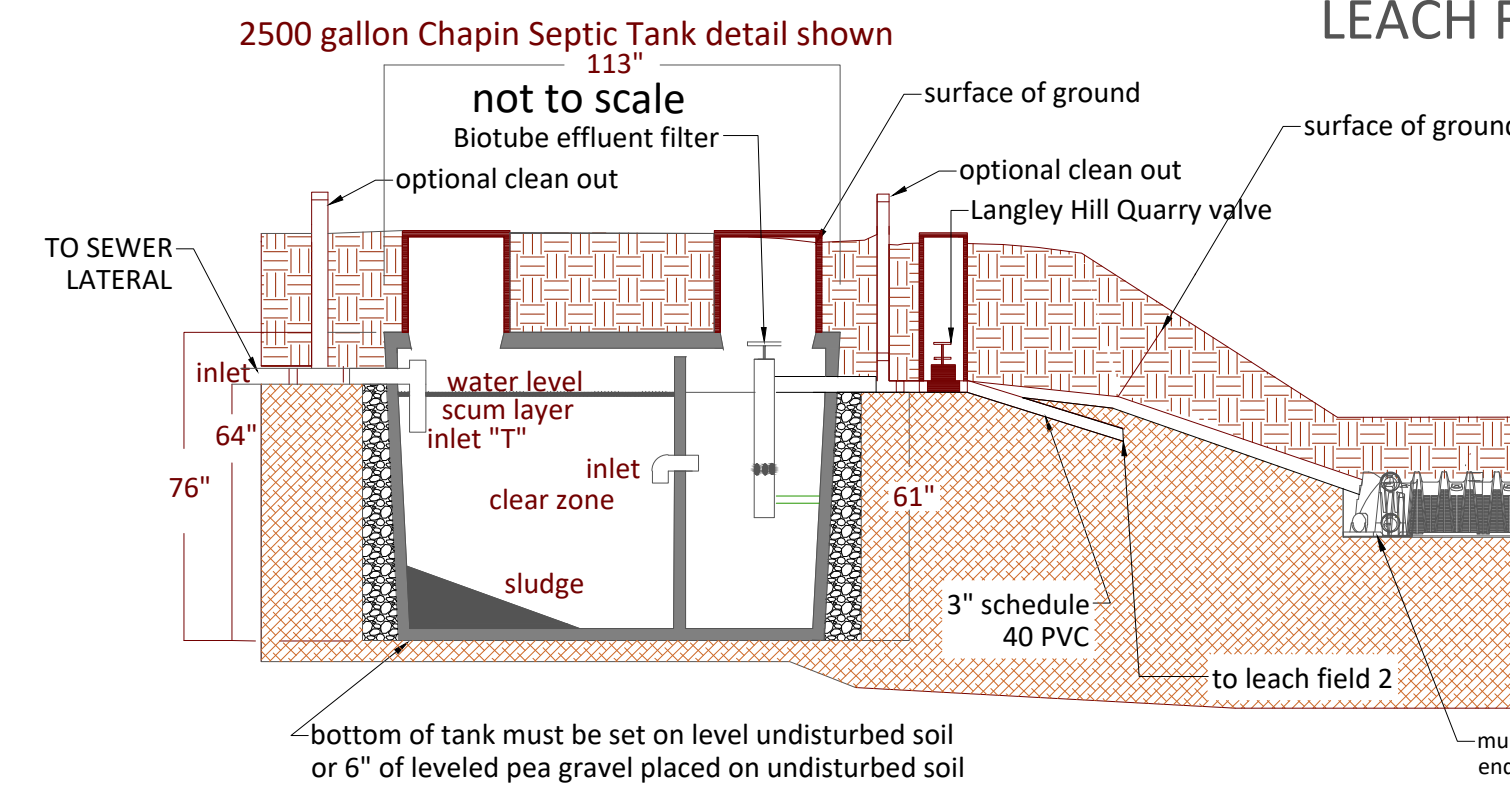
SCOPE OF WORK

The following is a brief summary of work to be done under a permit issued by the County of San Mateo.

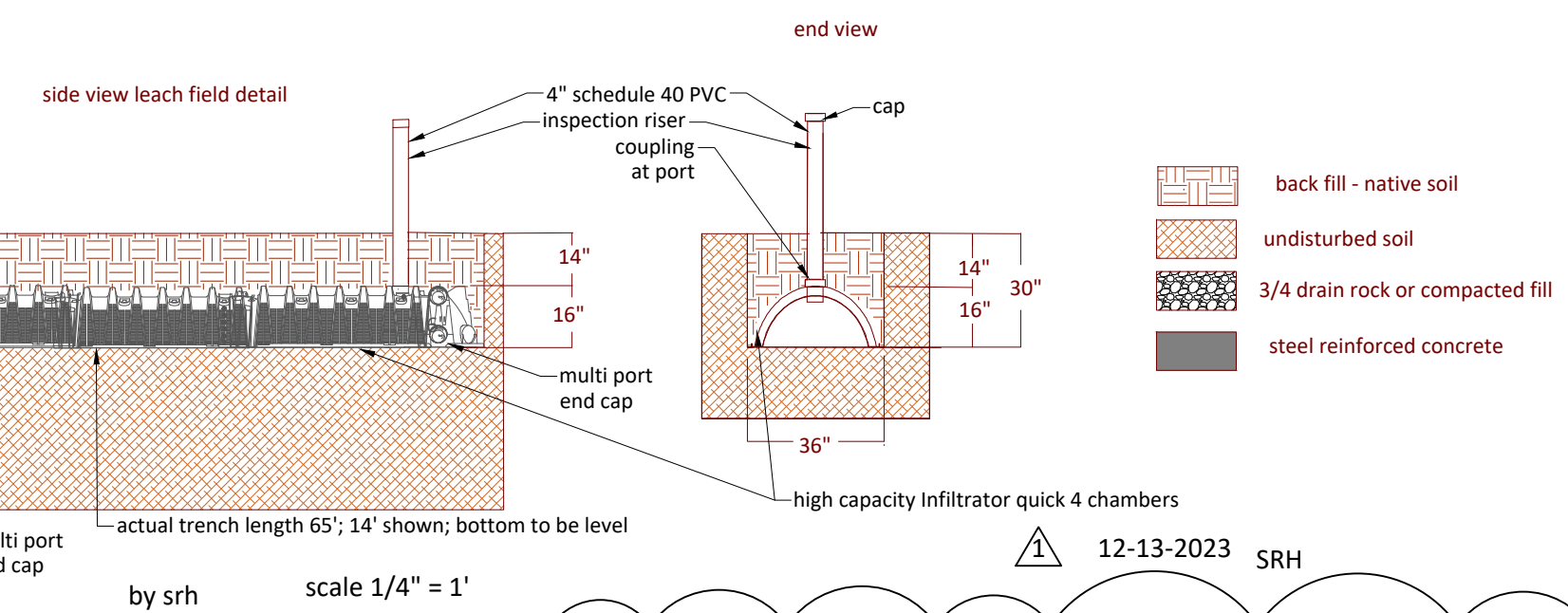
1. Install primary Quick Four High Capacity Infiltrator Chambers as shown (see page three)
2. Install new 2500-gallon Chapin Concrete Products septic tank as shown on plan.
3. Connect inlet of new septic tank to sewer laterals as shown.
4. Install new two-way valves as shown.
5. Connect tank to new valve and valve to leach trenches and leach trenches to each other as shown.

All material and methods shall comply with San Mateo County regulations and policies. All work must be inspected and approved before covering it. Nothing herein should be considered to be a warranty or guarantee of any kind and the designer liability is hereby limited to \$500 or the fee paid for the design whichever is less.

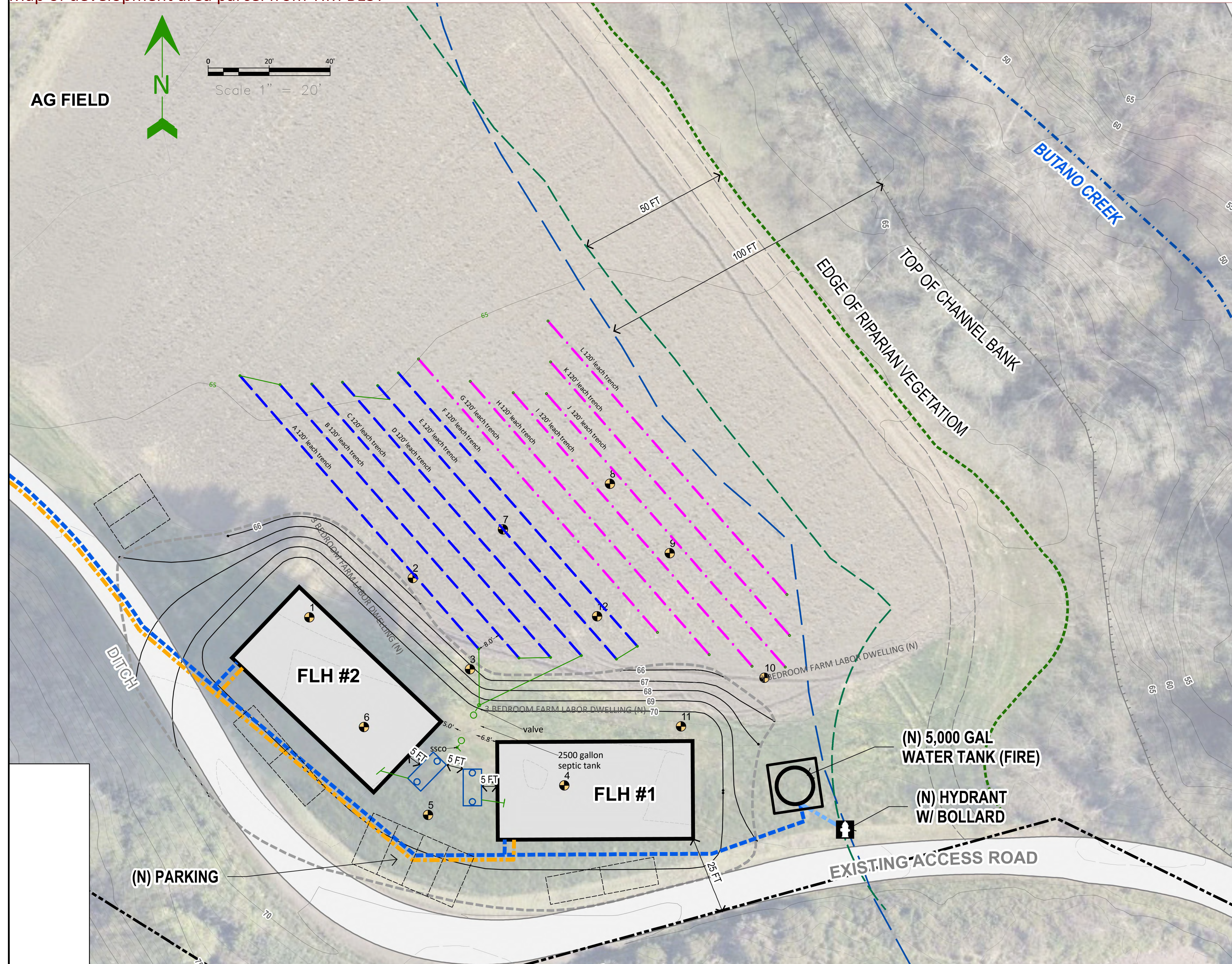
SEPTIC TANK DETAILS



LEACH FIELD DETAILS



Map of development area parcel from TIM BEST



Langley Hill Quarry
Ph: 650-851-0126 • Septic Systems Installed & Repaired • Lic. No. A702033
SMC Certified Installer No. 01
SMC Soil Percolation Tester No. 007

Observed in Field By: *Ernesto* Date: 4-27-2020

| 1/2 HOUR INTERVALS | READINGS | HOLE #1 | HOLE #2 | HOLE #3 | HOLE #4 | HOLE #5 |
|--------------------|----------|---------|---------|---------|---------|---------|
| 1 8:30 | FINISH | 7 1/4" | 7" | 11 1/4" | 11 1/4" | 11 1/4" |
| | START | 4" | 4" | 4" | 4" | 4" |
| | DIFF. | 3 3/4" | 3" | 7 1/4" | 7 1/4" | 7 1/4" |
| 2 9:00 | FINISH | 9 1/4" | 10 1/4" | 11 1/4" | 11 1/4" | 11 1/4" |
| | START | 7 1/4" | 6" | 6" | 6" | 6" |
| | DIFF. | 2 1/4" | 4 1/4" | 5 1/4" | 5 1/4" | 5 1/4" |
| 3 9:30 | FINISH | 9 1/4" | 10 1/4" | 10 1/4" | 10 1/4" | 10 1/4" |
| | START | 7 1/4" | 6" | 6" | 6" | 6" |
| | DIFF. | 2 1/4" | 4 1/4" | 4 1/4" | 4 1/4" | 4 1/4" |
| 4 10:00 | FINISH | 10 1/4" | 10 1/4" | 11 1/4" | 11 1/4" | 11 1/4" |
| | START | 7 1/4" | 6" | 6" | 6" | 6" |
| | DIFF. | 3 1/4" | 4 1/4" | 5 1/4" | 5 1/4" | 5 1/4" |
| 5 10:30 | FINISH | 9 1/4" | 10 1/4" | 10 1/4" | 10 1/4" | 10 1/4" |
| | START | 7 1/4" | 6" | 6" | 6" | 6" |
| | DIFF. | 2 1/4" | 4 1/4" | 4 1/4" | 4 1/4" | 4 1/4" |
| 6 11:00 | FINISH | 8 1/4" | 10 1/4" | 10 1/4" | 10 1/4" | 10 1/4" |
| | START | 6" | 6" | 6" | 6" | 6" |
| | DIFF. | 2 1/4" | 4 1/4" | 4 1/4" | 4 1/4" | 4 1/4" |
| 7 11:30 | FINISH | 9 1/4" | 10 1/4" | 10 1/4" | 10 1/4" | 10 1/4" |
| | START | 6" | 6" | 6" | 6" | 6" |
| | DIFF. | 3 1/4" | 4 1/4" | 4 1/4" | 4 1/4" | 4 1/4" |
| 8 11:50 | FINISH | 8 1/4" | 10 1/4" | 10 1/4" | 10 1/4" | 10 1/4" |
| | START | 6" | 6" | 6" | 6" | 6" |
| | DIFF. | 2 1/4" | 4 1/4" | 4 1/4" | 4 1/4" | 4 1/4" |
| 9 | FINISH | | | | | |
| | START | | | | | |
| | DIFF. | | | | | |
| 10 | FINISH | | | | | |
| | START | | | | | |
| | DIFF. | | | | | |

APPLICANTS NAME: LANGLEY HILL QUARRY PHONE: 650-851-0126
OWNERS NAME: *Farm Labor Housing* APN: *086-270-010*
ADDRESS: *4309 Cloverdale Road Pescadero* SMC
SIZE OF PARCEL: ? WATER SOURCE: ? SUBDIVISION:
WET WEATHER TESTING REQUIRED? YES NO DEPTH TO GROUND WATER:
SOIL LOG:

Langley Hill Quarry
Ph: 650-851-0126 • Septic Systems Installed & Repaired • Lic. No. A702033
SMC Certified Installer No. 01
SMC Soil Percolation Tester No. 007

Observed in Field By: *Ernesto* Date: 4-28-2020

| 1/2 HOUR INTERVALS | READINGS | HOLE #1 | HOLE #2 | HOLE #3 | HOLE #4 | HOLE #5 |
|--------------------|----------|---------|---------|---------|---------|---------|
| 1 8:30 | FINISH | 4 1/4" | 11 1/4" | 11 1/4" | 11 1/4" | 11 1/4" |
| | START | 4" | 4" | 4" | 4" | 4" |
| | DIFF. | 3 3/4" | 7 1/4" | 7 1/4" | 7 1/4" | 7 1/4" |
| 2 9:00 | FINISH | 11 1/4" | 11 1/4" | 11 1/4" | 11 1/4" | 11 1/4" |
| | START | 4 1/4" | 6" | 6" | 6" | 6" |
| | DIFF. | 7 1/4" | 5 1/4" | 5 1/4" | 5 1/4" | 5 1/4" |
| 3 9:30 | FINISH | 9 1/4" | 11 1/4" | 11 1/4" | 11 1/4" | 11 1/4" |
| | START | 6" | 6" | 6" | 6" | 6" |
| | DIFF. | 3 1/4" | 5 1/4" | 5 1/4" | 5 1/4" | 5 1/4" |
| 4 10:00 | FINISH | 11 1/4" | 11 1/4" | 11 1/4" | 11 1/4" | 11 1/4" |
| | START | 6" | 6" | 6" | 6" | 6" |
| | DIFF. | 5 1/4" | 5 1/4" | 5 1/4" | 5 1/4" | 5 1/4" |
| 5 10:30 | FINISH | 9 1/4" | 11 1/4" | 11 1/4" | 11 1/4" | 11 1/4" |
| | START | 6" | 6" | 6" | 6" | 6" |
| | DIFF. | 3 1/4" | 5 1/4" | 5 1/4" | 5 1/4" | 5 1/4" |
| 6 11:00 | FINISH | 8 1/4" | 11 1/4" | 11 1/4" | 11 1/4" | 11 1/4" |
| | START | 6" | 6" | 6" | 6" | 6" |
| | DIFF. | 2 1/4" | 5 1/4" | 5 1/4" | 5 1/4" | 5 1/4" |
| 7 11:30 | FINISH | 8 1/4" | 11 1/4" | 11 1/4" | 11 1/4" | 11 1/4" |
| | START | 6" | 6" | 6" | 6" | 6" |
| | DIFF. | 2 1/4" | 5 1/4" | 5 1/4" | 5 1/4" | 5 1/4" |
| 8 11:50 | FINISH | 8 1/4" | 11 1/4" | 11 1/4" | 11 1/4" | 11 1/4" |
| | START | 6" | 6" | 6" | 6" | 6" |
| | DIFF. | 2 1/4" | 5 1/4" | 5 1/4" | 5 1/4" | 5 1/4" |
| 9 | FINISH | | | | | |
| | START | | | | | |
| | DIFF. | | | | | |
| 10 | FINISH | | | | | |
| | START | | | | | |
| | DIFF. | | | | | |

APPLICANTS NAME: LANGLEY HILL QUARRY PHONE: 650-851-0126
OWNERS NAME: *Farm Labor Housing* APN: *086-270-010*
ADDRESS: *4309 Cloverdale Road Pescadero* SMC
SIZE OF PARCEL: ? WATER SOURCE: ? SUBDIVISION:
WET WEATHER TESTING REQUIRED? YES NO DEPTH TO GROUND WATER: *10' hole water seen at 9' 10" first hole was done at the middle of last test*
SOIL LOG:

REVISIONS

| | | |
|------------|-----|-----------------|
| 12-13-2023 | SRH | County comments |
| | | |
| | | |
| | | |
| | | |



S.R. HARTSELL, R.E.H.S.
202 WATERFORD DRIVE
VACAVILLE, CA 95688
shartsell@gmail.com (650) 888-2419

SEPTIC SYSTEM
PLAN

FARM LABOR HOUSING
4309 CLOVERDALE ROAD
PESCADERO, CA 94060
APN 086-270-010

June 7, 2023
SCALE AS NOTED
BY SRH

PAGE
onsite 2

copy of original soil proile and location report that I sent to the County

Map of development area parcel from County of San Mateo Planning and Building Map Viewer



| SOIL PROFILE RESULTS CONVENTIONAL SYSTEMS | |
|---|-----------------------------------|
| SR #: | DATE OF INSPECTION: 4-28-2020 |
| APN #: 086 270 010 | OWNER: Peninsula Open Space Trust |
| APPLICANT: Peninsula Open Space Trust | |
| SITE ADDRESS: 4309 Cloverdale Road, Pescadero, CA 94060 | |
| CONDUCTED BY: Steve Hartsell | CHECKED BY: |

| HOLE #: | HOLE #: |
|---|---------|
| 1-2 light brown gray, heavy sand, coarse gravel massive formation | |
| 3-6 brown, heavy sand, massive structure | |
| 9-50' gray to black, sandy clay loam structure massive, water encountered at 9' 10" | |

COMMENTS:

Rev. 3/31/14

REVISIONS

| NO. | DATE | DESCRIPTION | BY |
|-----|------------|-----------------|-----|
| 1 | 12-13-2023 | County comments | SRH |



S.R. HARTSELL, R.E.H.S.
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SOIL PROFILE
LOG AND
LOCATION

FARM LABOR HOUSING
4309 CLOVERDALE ROAD
PESCADERO, CA 94060
APN 086-270-010

June 7, 2023

SCALE AS NOTED

BY SRH

PAGE

onsite 4

4 of 4



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D

COUNTY OF SAN MATEO, PLANNING AND BUILDING DEPARTMENT

**NOTICE OF INTENT TO ADOPT
MITIGATED NEGATIVE DECLARATION**

A notice, pursuant to the California Environmental Quality Act of 1970, as amended (Public Resources Code 21,000, et seq.), that the following project: Four (4) farm labor housing units, Fifth Crow Farms at Cloverdale Ranch, when adopted and implemented, will not have a significant impact on the environment.

FILE NO.: PLN2023-00297

OWNERS: Midpeninsula Regional Open Space District and Peninsula Open Space Trust

APPLICANT: Sandy Sommer, Midpeninsula Regional Open Space District and Peninsula Open Space Trust

NAME OF PERSON UNDERTAKING THE PROJECT OR RECEIVING THE PROJECT APPROVAL (IF DIFFERENT FROM APPLICANT): Same

ASSESSOR'S PARCEL NO.: 086-270-010

LOCATION: 4309 Cloverdale Road, Pescadero

PROJECT DESCRIPTION

Planned Agriculture District Permit (PAD), Coastal Development Permit (CDP) and Grading Permit for the construction of four (4) farm labor housing units, a new septic system, two 10,000-gallon fire water storage tanks, a fire hydrant, 8 parking spaces and conversion of an agricultural well to domestic use on a 549-acre property in Pescadero. Vehicle access improvements are proposed to provide access to the farm labor housing units and to comply with fire turnaround requirements. A total of 850 cubic yards of grading and no tree removal is proposed. The project site is located in the Cloverdale Road County Scenic Corridor.

FINDINGS AND BASIS FOR A NEGATIVE DECLARATION

The Current Planning Section has reviewed the initial study for the project and, based upon substantial evidence in the record, finds that:

1. The project will not adversely affect water or air quality or increase noise levels substantially.
2. The project will not have adverse impacts on the flora or fauna of the area.
3. The project will not degrade the aesthetic quality of the area.
4. The project will not have adverse impacts on traffic or land use.

5. In addition, the project will not:
 - a. Create impacts which have the potential to degrade the quality of the environment.
 - b. Create impacts which achieve short-term to the disadvantage of long-term environmental goals.
 - c. Create impacts for a project which are individually limited, but cumulatively considerable.
 - d. Create environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly.

The County of San Mateo has, therefore, determined that the environmental impact of the project is insignificant.

MITIGATION MEASURES included in the project to avoid potentially significant effects:

Mitigation Measure 1: Upon the start of excavation activities and through to the completion of the project, the applicant shall be responsible for ensuring that the following dust control guidelines are implemented:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. All vehicle speeds on unpaved roads shall be limited to 15 mph.
- e. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- f. All construction equipment shall be maintained and properly tuned in accordance with manufacturers' specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- g. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of the California Code of Regulations (CCR)). Clear signage shall be provided for construction workers at all access points.

- h. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
- i. Construction-related activities shall not involve simultaneous occurrence of more than two construction phases (e.g., paving and building construction would occur simultaneously).

Mitigation Measure 2: Environmental Awareness Training: Prior to the start of work, environmental awareness training should be provided to all construction crew. Training will include a description of all biological resources that may be found on or near the Project Study Area, the laws and regulations that protect those resources, the consequences of non-compliance with those laws and regulations, instructions for inspecting equipment each morning prior to activities, and a contact person if protected biological resources are discovered in the Project Study Area.

Mitigation Measure 3: Wildlife Exclusion Fencing (WEF): At least 14 days prior to the commencement of construction-related activities, California Red-Legged Frog (CRLF) exclusion fencing with exit funnels shall be installed between the riparian corridor and the Project footprint under the direction of a qualified biologist. Following installation, the fence should be inspected weekly by trained construction personnel to monitor and maintain the fence throughout the duration of the Project's ground-disturbing activities.

Mitigation Measure 4: Erosion Control Materials: Tightly woven fiber netting or similar material shall be used for erosion control or other purposes to ensure amphibian and reptile species do not get trapped. Plastic mono-filament netting (erosion control matting) rolled erosion control products, or similar material shall not be used.

Mitigation Measure 5: Pre-Construction Wildlife Surveys: Pre-construction surveys for CRLF shall be conducted prior to initiation of project activities and within 48 hours of the start of ground disturbance activities. After the Wildlife Exclusion Fence has been properly erected, scoping of any burrows on the site to ascertain the absence of CRLF is recommended in lieu of daily biological monitoring. Surveys are to be conducted by a qualified biologist. If CRLF is detected during the survey, the animal should be allowed to leave the area on its own accord.

Mitigation Measure 6: Nesting Bird Seasonal Work Window or Surveys: Tree and vegetation removal activities should be initiated during the non-nesting season from September 1 to January 31 to the extent feasible. If work cannot be initiated during this period, then nesting bird surveys shall be performed in suitable nesting habitat within 250 feet of the project footprint. If nests are found, a no-disturbance buffer should be placed around the nest until young have fledged or the nest is determined to be no longer active by the biologist. The size of the buffer may be determined by the biologist based on species and proximity to activities, but should generally be between 50 feet for songbirds and up to 250 feet for nesting raptors.

Mitigation Measure 7: In the event that unanticipated cultural resources are exposed during disturbance activities, work within 15 meters (50 feet) of the find must stop and a Secretary of the Interior (SOI)-qualified archaeologist (the SWCA Project Manager must be notified immediately). Work may not resume until a qualified archaeologist can evaluate the significance of the find; however, disturbance activities may continue in other areas. If the

discovery proves significant, additional work such as archaeological testing, data recovery, or consultation with stakeholders may be warranted.

Mitigation Measure 8: The discovery of human remains during the course of the project is a possibility. If human remains are encountered, then the procedures outlined by the NAHC, in accordance with Section 7050.5 of the California Health and Safety Code and PRC Section 5097.98, would be followed. If the monitor determines that a discovery includes human remains:

1. All ground-disturbing work within the immediate vicinity (25 feet) of the find would halt.
2. The archaeologist would contact the San Mateo County Coroner: San Mateo County Coroner 50 Tower Road, San Mateo, CA 94402 Phone: 650/ 312-5562
3. As a courtesy, the County Coroner would also notify the NAHC: Native American Heritage Commission 915 Capitol Mall, Room 364 Sacramento, California 95814 Phone: 916/ 373-3710, Email: nahc@nahc.ca.gov

The County Coroner would have two (2) working days to examine the remains after being notified in accordance with California Health and Safety Code Section 7050.5. If the San Mateo County Coroner determines that the remains are Native American and are not subject to the County Coroner's authority, the County Coroner has 24 hours to notify the NAHC of the discovery. The NAHC would immediately designate and notify the Native American Most Likely Descendant (MLD), who will have 48 hours after being granted access to the location of the remains to inspect them and provide recommendations for the treatment of them.

Mitigation Measure 9: In the event that cultural, paleontological, or archaeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Director of Planning and Building of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Director of Planning and Building for review and approval a report of the findings and methods of curation or protection of the resources. In addition, an archaeological report meeting the Secretary of the Interior's Standards detailing the findings of the monitoring will be submitted to the Northwest Information Center after monitoring has ceased. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred.

Mitigation Measure 10: If a newly discovered resource is, or is suspected to be, Native American in origin, the resource shall be treated as a significant Tribal Cultural Resource, pursuant to Public Resources Code 21074, until the County has determined otherwise with the consultation of a qualified archaeologist and local tribal representative.

Mitigation Measure 11: Prior to commencement of the project, the application shall submit to the Planning Department for review and approval, an erosion and drainage control plan that shows how the transport and discharge of soil and pollutant from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment capturing devices. The plan shall limit application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients

at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plans shall adhere to the San Mateo County Wide Stormwater Pollution Prevention Program "General Construction and Site Guidelines," including:

- a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
- b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
- c. Performing clearing and earthmoving activities only during dry weather.
- d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
- e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
- f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
- h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
- j. Limiting construction access routes and stabilization of designated access points.
- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
- l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
- n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.

RESPONSIBLE AGENCY CONSULTATION

None

INITIAL STUDY

The San Mateo County Current Planning Section has reviewed the Environmental Evaluation of this project and has found that the probable environmental impacts are insignificant. A copy of the initial study is attached.

REVIEW PERIOD: October 9, 2024 through October 28, 2024

All comments regarding the correctness, completeness, or adequacy of this Mitigated Negative Declaration must be received by the County Planning and Building Department, 455 County Center, Second Floor, Redwood City, no later than **5:00 p.m., October 28, 2024.**

CONTACT PERSON

Olivia Boo, Project Planner,
oboo@smcgov.org

Olivia Boo

Olivia Boo, Project Planner

County of San Mateo
Planning and Building Department

**INITIAL STUDY
ENVIRONMENTAL EVALUATION CHECKLIST**
(To Be Completed by Planning Department)

1. **Project Title:** Four (4) farm labor housing units, Fifth Crow Farms at Cloverdale Ranch.
2. **County File Number:** PLN2023-00297
3. **Lead Agency Name and Address:** County of San Mateo Planning and Building Department, 455 County Center, 2nd Floor, Redwood City, CA 94063
4. **Contact Person and Phone Number:** Olivia Boo, Project Planner; oboo@smcgov.org
5. **Project Location:** 4309 Cloverdale Road, Pescadero
6. **Assessor's Parcel Number and Size of Parcel:** 086-270-010, 549 acres
7. **Project Sponsor's Name and Address:** Sandy Sommer, Midpeninsula Regional Open Space District, 5050 El Camino Real, Los Altos, CA 94022 and Peninsula Open Space Trust, 222 High Street, Palo Alto, CA 94301
8. **Name of Person Undertaking the Project or Receiving the Project Approval (if different from Project Sponsor):** NA
9. **General Plan Designation:** Agriculture
10. **Zoning:** Planned Agricultural District/Coastal Development (PAD/CD)
11. **Description of the Project:** Planned Agriculture District Permit (PAD), Coastal Development Permit (CDP) and Grading Permit for the construction of four (4) farm labor housing units, a new septic system, two 10,000-gallon fire water storage tanks, a fire hydrant, 8 parking spaces and conversion of an agricultural well to domestic use on a 549-acre property in Pescadero. Vehicle access improvements are proposed to provide access to the farm labor housing units and to comply with fire turnaround requirements. A total of 850 cubic yards of grading and no tree removal is proposed. The project site is located in the Cloverdale Road County Scenic Corridor.
12. **Surrounding Land Uses and Setting:** The property is accessed by Cloverdale Road. It is developed with several barns, packing shed, storage shed, and 10 potable water storage tanks that support the farming on site. Butano Creek borders along the east property line, with a portion of the creek encroaching onto the parcel, at a location north of the proposed development. The subject parcel is covered with non-native vegetation. The surrounding parcels are made up of a mix of developed and undeveloped parcels. The developed parcels largely consist of low-density residential and/or agricultural development.
13. **Other Public Agencies Whose Approval is Required:** N/A

14. **Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code Section 21080.3.1? If so, is there a plan for consultation that includes, for example, the determination of significance of impacts to tribal cultural resources, procedures regarding confidentiality, etc.?:** The project was sent by certified mail to the recommended list of California Native American tribes as recommended by the Native American Heritage Commission (NAHC). The notice yielded no comments from the tribes.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a “Potentially Significant Impact” or “Significant Unless Mitigated” as indicated by the checklist on the following pages.

| | | | | | |
|---|-----------------------------------|--|---------------------------------|---|------------------------------------|
| | Aesthetics | | Energy | | Public Services |
| | Agricultural and Forest Resources | | Hazards and Hazardous Materials | | Recreation |
| X | Air Quality | | Hydrology/Water Quality | | Transportation |
| X | Biological Resources | | Land Use/Planning | X | Tribal Cultural Resources |
| X | Climate Change | | Mineral Resources | | Utilities/Service Systems |
| X | Cultural Resources | | Noise | | Wildfire |
| X | Geology/Soils | | Population/Housing | | Mandatory Findings of Significance |

EVALUATION OF ENVIRONMENTAL IMPACTS

1. A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an Environmental Impact Report (EIR) is required.

4. “Negative Declaration: Less Than Significant with Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less Than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from “Earlier Analyses,” as described in 5. below, may be cross-referenced).
5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other California Environmental Quality Act (CEQA) process, an effect has been adequately analyzed in an earlier EIR or negative declaration (Section 15063(c)(3)(D)). In this case, a brief discussion should identify the following:
 - a. Earlier Analysis Used. Identify and state where they are available for review.
 - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c. Mitigation Measures. For effects that are “Less Than Significant with Mitigation Measures Incorporated,” describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
6. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
7. Supporting Information Sources. Sources used or individuals contacted should be cited in the discussion.

| | | | | | |
|---|---|---|--|--|-------------------------|
| 1. AESTHETICS. Except as provided in Public Resources Code Section 21099, would the project: | | | | | |
| | | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 1.a. | Have a substantial adverse effect on a scenic vista, views from existing residential areas, public lands, water bodies, or roads? | | | X | |
| <p>Discussion: The project site is located within the Pescadero Road and Cloverdale Road County scenic corridors. The project proposed will be at the southern portion of the parcel, approximately 1.5 miles south of the intersection of Cloverdale Road and Pescadero Creek Road. The parcel is bordered by Bean Hollow Road along the western property line. The subject parcel is relatively flat. The proposed fire hydrant, water tanks and farm labor housing units will be located in the eastern portion of the parcel, approximately 750 feet from Cloverdale Road (the nearest public road). A dense corridor of riparian vegetation along Butano Creek intervenes public view of the project site</p> | | | | | |

| | | | | | |
|--|---|--|--|---|---|
| <p>from Cloverdale Road. The structures will be conditioned to be painted earth tone colors to blend with the rural agriculture and open space surroundings.</p> <p>Source: San Mateo County Geographic Information System (GIS), Project Plans.</p> | | | | | |
| 1.b. | Substantially damage or destroy scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? | | | | X |
| <p>Discussion: The proposed project will not damage or destroy scenic resources. There are no trees, rock outcroppings or historic buildings within the project area. See 1.a. regarding discussion of scenic corridor impacts.</p> <p>Source: Project Plans.</p> | | | | | |
| 1.c. | In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings, such as significant change in topography or ground surface relief features, and/or development on a ridgeline? (Public views are those that are experienced from publicly accessible vantage point.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality? | | | | x |
| <p>Discussion: The farm labor housing units and water tanks will not significantly alter the fairly flat topography of the parcel. Approximately 850 cubic yards of fill is proposed for the farm labor housing units but is not expected to impact or significantly degrade the existing visual characteristics of the site.</p> <p>The property is developed with one barn and agriculture sheds located near the northern side of the property. There is an existing dirt access road at the eastern side of the parcel near Cloverdale Road. The project site is not on a ridgeline.</p> <p>Source: Project Plans.</p> | | | | | |
| 1.d. | Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area? | | | x | |

Discussion: The farm labor housing units may have exterior lighting for safety and evening visibility purposes and are not expected to produce significant glare. Local Coastal Program policy 8.18 requires exterior lighting to be limited for safety purposes and shielded to the subject parcel. No further mitigation is required.

Source: Project Plans.

| | | | | | |
|------|---|--|--|---|--|
| 1.e. | Be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor? | | | x | |
|------|---|--|--|---|--|

Discussion: See staff's response to 1.a.

Source: Project Plans, San Mateo County Geographic Information System.

| | | | | | |
|------|---|--|--|--|---|
| 1.f. | If within a Design Review District, conflict with applicable General Plan or Zoning Ordinance provisions? | | | | x |
|------|---|--|--|--|---|

Discussion: The project is not located within a Design Review District and does not conflict with applicable General Plan or Zoning Ordinance provisions.

Source: Zoning Maps, General Plan.

| | | | | | |
|------|--|--|--|--|---|
| 1.g. | Visually intrude into an area having natural scenic qualities? | | | | x |
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Discussion: The parcel is located within the rural surroundings of the Pescadero area. The vicinity includes agricultural fields, residential development, heavy vegetation, Butano creek along the east property line, hills, flatlands and low-density development. Construction of the farm labor housing units, parking area and water tanks is not expected to significantly impact the rural scenic qualities found in the area. The water tanks will be ground level structures, will be conditioned to be painted earth tone colors, and will not significantly intrude on natural scenic qualities. The farm labor housing units will be two story structures, 19 feet height, and the water tanks are at a proposed 8 feet height and will be conditioned to be painted an earth tone color. No tree removal is proposed.

Source: Google Maps, Project Plans.

2. AGRICULTURAL AND FOREST RESOURCES. In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:

| | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
|---|--|-------------------------------------|-------------------------------------|------------------|
| 2.a. For lands outside the Coastal Zone, convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? | | | | x |
| <p>Discussion: No Impact. The project is not located outside the Coastal Zone.</p> <p>Source: San Mateo County Geographic Information System, Project Location.</p> | | | | |
| 2.b. Conflict with existing zoning for agricultural use, an existing Open Space Easement, or a Williamson Act contract? | | | | x |
| <p>Discussion: The property is not located within an open space easement or under a Williamson Act contract. The subject parcel is zoned Planned Agricultural District and in the Coastal Zone. The zoning designation requires that the proposal preserves and fosters existing and potential agricultural operations. The property grows organic artichokes, parsnips, potatoes and winter squash. The conversion of the agricultural well to a domestic well will support the farm labor housing. The property has riparian waer rights to Butano and Arroyo de los Frijoles Creeks. An in-stream diversion from Butano Creeek supplies sufficient surface water for the agricultural operations. When stream flow is low and pumping from the creek is not adequate, an existing small off-stream reservoir is used. There are nine 5,000-gallon tanks on site, located in the farm area that also serve as irrigation reservoir. An existing well, approved and drilled in 2018 is currently used for agricultural purposes.</p> <p>Source: Project Plans.</p> | | | | |
| 2.c. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forestland to non-forest use? | | | | x |
| <p>Discussion: The project proposes farm labor housing units, a new septic system, two fire water storage tanks, a fire hydrant, 8 parking spaces, conversion of an ag well for domestic use, and a total of 850 c.y. of fill. The farm labor housing units are proposed on LCC Class 2 soils.</p> <p>Review of the Natural Resources Conservation Service Web Soil Survey and Soil Survey San Mateo Area, the soil types are CuA and Ma. CuA is classified as Class II agricultural soil if irrigated and has a California Revised Storie Index Rating of Grade 2 – Good, which is considered prime agricultural land under the County’s definition. Ma is Grade 3 - Fair grading, which is not classified as prime agricultural land. The project will convert a small area of Class 2 soils; however, the remainder of the parcel remains available for continued farming. The property does not contain</p> | | | | |

forestland. The development is clustered and located near a property line which preserves the bulk of the land for farming.

Source: Project Plans, San Mateo County Geographic Information System, Natural Resources Conservation Service Web Soil Map.

2.d. For lands within the Coastal Zone, convert or divide lands identified as Class I or Class II Agriculture Soils and Class III Soils rated good or very good for artichokes or Brussels sprouts?

x

Discussion: See response to 2.c.

Source: Project Plans, San Mateo County Geographic Information System.

2.e. Result in damage to soil capability or loss of agricultural land?

x

Discussion: See response to 2.c.

Source: Project Plans, San Mateo County Geographic Information System.

2.f. Conflict with existing zoning for, or cause rezoning of, forestland (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?

x

Note to reader: This question seeks to address the economic impact of converting forestland to a non-timber harvesting use.

Discussion: The area proposed for development is not defined as forestland or timberland production. The parcel does not have trees. Forestland is land that can support 10 %native tree cover of any species, including hardwoods, under natural conditions, and that allows for the management of one or more forest resources, including timber, aesthetics, fish and wildlife, biodiversity, water quality, recreation, and other public benefits. No rezoning is proposed, and the land has not been used as timber land (no timber harvesting) and is not a Timberland Preserve Zone (TPZ); the project parcel is zoned PAD/CD (Planned Agricultural District/Coastal Development). The proposed project will not conflict with any existing zoning as farm labor housing, and associated infrastructure, is allowed in the PAD Zoning District subject to a PAD Permit.

Source: County Zoning Map and Regulations.

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| <p>3. AIR QUALITY. Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:</p> | | | | |
| | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 3.a. | Conflict with or obstruct implementation of the applicable air quality plan? | x | | |

Discussion: The project involves no tree removal, moderate grading, and typical construction activities associated with the proposed residential units.

The proposed project would not conflict with or obstruct the implementation of the Bay Area Air Quality Management District's (BAAQMD's) 2017 Clean Air Plan (CAP). The project and its operation involve minimal hydrocarbon (carbon monoxide, CO₂) air emissions during construction, whose source would be exhaust from vehicle trips (e.g., construction vehicles and personal cars of construction workers) as the primary fuel source is gasoline. Due to the site's rural location, potential project air emission levels from construction would be increased from general levels. However, any such construction-related emissions would be temporary and localized and would not conflict with or obstruct the Bay Area Air Quality Plan. Similarly, once construction for the farm labor housing and associated infrastructure is completed, the project would have minimal impacts to air quality standards. The BAAQMD has established thresholds of significance for construction emissions and operational emissions as defined in the BAAQMD's 2017 CEQA Guidelines but does not require quantification of construction emission due to the number of variables that can impact the calculation of construction emissions. The BAAQMD emphasizes implementation of all feasible construction best management practice measures to minimize emissions from construction activities. The BAAQMD provides a list of construction-related control measures that they have determined, when fully implemented, would significantly reduce construction-related air emissions to a less than significant level. These control measures have been included in Mitigation Measure 1.

Mitigation Measure 1: Upon the start of excavation activities and through to the completion of the project, the applicant shall be responsible for ensuring that the following dust control guidelines are implemented:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. All vehicle speeds on unpaved roads shall be limited to 15 mph.

- e. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- f. All construction equipment shall be maintained and properly tuned in accordance with manufacturers' specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- g. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of the California Code of Regulations (CCR)). Clear signage shall be provided for construction workers at all access points.
- h. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
- i. Construction-related activities shall not involve simultaneous occurrence of more than two construction phases (e.g., paving and building construction would occur simultaneously).

Source: Bay Area Air Quality Management District 2017 Clean Air Plan, Bay Area Air Quality Management District CEQA Guidelines May 2017.

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| 3.b. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable Federal or State ambient air quality standard? | | | x | |

Discussion: The San Francisco Bay Area Air Basin is a State designated non-attainment area for Ozone, Particulate Matter (PM10) and Fine Particulate Matter (PM2.5). Non-attainment area is an area considered to have air quality worse than the National Ambient Air Quality Standards as defined in the Clean Air Act Amendment of 1970. On January 9, 2013, the Environmental Protection Agency (EPA) issued a final rule to determine that the Bay Area attained the 24-hour PM-2.5 national standard. However, the Bay Area will continue to be designated as "non-attainment" for the national 24-hour PM-2.5 standard until the BAAQMD submits a "re-designation request" and a "maintenance plan" to the EPA and the proposed re-designation is approved by the Environmental Protection Agency. A temporary increase in PM-2.5 in the project area is anticipated to occur during construction since these PM-2.5 particles are a typical vehicle emission. Therefore, any construction and California Air Resources Board vehicle regulations will reduce the potential effects of increased PM-2.5 to a less than significant impact. Implementation of Mitigation Measure 1 would minimize increases in non-attainment criteria pollutants generated from project construction to a less than significant level. No further mitigation is necessary.

Source: Bay Area Air Quality Management District.

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| 3.c. Expose sensitive receptors to substantial pollutant concentrations, as defined by the Bay Area Air Quality Management District? | | | x | |
|--|--|--|---|--|

Discussion: Sensitive receptors include, but are not limited to, hospitals, schools, daycare facilities, elderly housing and convalescent facilities. Pescadero High School is over 4,000 feet northeast of the project site. Pollutants are limited to that of construction vehicles, activities associated with the farm labor housing and are not expected to continue once the infrastructure and construction is completed. Though pollutant emissions generated from the construction of the proposed project will be temporary in nature, they have the potential to negatively impact nearby sensitive receptors. Implementation of Mitigation Measure 1 would minimize negative impacts to a less than significant level. No further mitigation is necessary. Also see discussion under 3.a.

Source: Bay Area Air Quality Management District.

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|---|--|--|---|--|
| 3.d. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people? | | | x | |
|---|--|--|---|--|

Discussion: The project would result in short-term grading related emissions, such as fugitive dust and exhaust from construction vehicles. However, the project site is located in a remote, rural area where the closest residence is located over 500 feet away. No objectionable odors are expected once the farm labor housing infrastructure is installed. Odors resulting from construction vehicles may occur (e.g., gasoline and diesel-fueled construction equipment), however these odors would be temporary in nature.

Source: Project Scope.

4. BIOLOGICAL RESOURCES. Would the project:

| | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
|---|--|-------------------------------------|-------------------------------------|------------------|
| 4.a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service or National Marine Fisheries Service? | | x | | |

Discussion: A biological report prepared by Sol Ecology, biological consultant, cites eleven (11) special status plants documented within five miles of the Project Study Area. Of these 11 species, none are present or have the potential to occur in the Project Study Area due to past disturbance and historic tilling of the project area.

The Project Study Area does not have trees and is comprised of a fallow agricultural field covered in non-native species. Grasses observed included soft chess, rattail six weeks grass, foxtail barley, and annual bluegrass.

Other herbaceous species included mustard, field bindweed, scarlet pimpernel, California burclover, wild radish, common groundsel, fava bean, spring vetch, and bird's eye speedwell. One native species, pineapple weed, was observed.

Riverine

More than 100 feet away from the proposed Project footprint to the northeast is Butano Creek which flows along the west to northwestern boundary of the Project Study Area. Butano Creek is a perennial creek that is within the Pescadero Creek Watershed. The creek channel is very wide, averaging about 20 feet. The banks are very steep with a lot of erosion on both banks. At the time of the April 2023 biological survey, flows within the creek were about 3 to 4 feet deep. No aquatic vegetation was present in the creek due to recent rain. The creek is designated critical habitat for coho salmon (central California coast Evolutionarily Significant Unit (ESU), and steelhead Distinct Population Segment (DPS)).

Riparian

The riparian corridor associated with Butano Creek consists of dense vegetation dominated by a contiguous canopy consisting of red willow and arroyo willow; this habitat is located more than 50 feet to the northeast of the proposed project footprint. Plant species observed in the understory consisted of blue elderberry, California blackberry, and annual stinging nettle. Abundant wildlife was present in the riparian corridor. Birds observed included song sparrow and Allen's hummingbird. Mammals included brush rabbit, and a large San Francisco dusky-footed woodrat (SFDFW) nest complex. Both Allen's hummingbird and SFDFW are considered special status species.

Special Status Species

Special-status species include plants and wildlife species that have been formally listed, are proposed as endangered or threatened, or are candidates for such listing under the Federal Endangered Species Act (ESA) or California Endangered Species Act (CESA). These acts protect both listed species and those that are formal candidates for listing.

Plant species on the California Native Plant Society (CNPS) Rare and Endangered Plant Inventory (Inventory) with California Rare Plant Ranks (Rank) of 1 and 2 are also considered special-status plant species. California Department of Fish and Wildlife (CDFW) Species of Special Concern, CDFW California Fully Protected species, USFWS Birds of Conservation Concern, and CDFW Special-status Invertebrates are all considered special-status species. Furthermore, CDFW Fish and Game Code and the Migratory Bird Treaty Act (MBTA) prohibits the take of actively nesting birds as well as common bats and their roosts (CDFW Code only). Lastly, special-status species include all rare or unique species listed in the Local Coastal Program (LCP).

Eleven special-status plants have been documented within five miles of the Project Study Area. Of these, no special status plants are present or have potential to occur in the Project Study Area due to past disturbance and historic tilling. One species, Choris' popcornflower, is documented to occur in annual grassland and chaparral habitat located south of the Project footprint. No indirect effects to this community are likely to occur due to the aspect of the southerly slope to the site and proximity to existing disturbed areas.

Eighteen special-status wildlife species have been documented within five miles of the Project Study Area. Given the proximity of the project site to a) Butano Creek and b) associated (Butano Creek) riparian habitat to the northeast, and chaparral habitat to the south, two federal listed species and two special-status species and other migratory bird species protected under the MBTA may be present in the surrounding habitat outside the project footprint.

The San Francisco Garter Snake (SFGS) has multiple occurrences within five miles. The nearest garter snake, which was found 0.2 miles north of the project study area, was found dead on Cloverdale Road. Butano Creek is documented to provide foraging and dispersal habitat for the San Francisco Garter Snake. The San Francisco Garter Snake is not likely to be present in the project area due to the lack of available cover and limited refugia close to water. The San Francisco Garter Snake is also not likely to be present outside nearby riparian habitat since the site is not within any dispersal corridor and lacks necessary cover.

The California Red-Legged Frog (CRLF) has moderate occurrences within five miles; the nearest is within one mile of the project study area. Butano Creek provides foraging and dispersal habitat for this species. Rodent burrows on the site provide marginal suitable refugia for dispersing frogs, however upland habitat is not present due to lack of suitable breeding habitat within 300 feet. Additionally, the site is outside the designated critical habitat. The California Red-Legged Frog may disperse into the project footprint, but a lack of suitable upland features nor breeding habitat indicates the project study area would not include the California Red-Legged Frog.

Allen's hummingbird has low potential for occurrence; however, the species was observed in Butano Creek riparian corridor adjacent to the project footprint during the April 14, 2023, biological survey. Suitable nesting habitat is present in the adjacent riparian corridor and in the chaparral habitat upslope to the project study area. There is no suitable nesting substrate in the project footprint for Allen's hummingbird.

San Francisco Dusky-Footed Woodrat (SFDFW) has low potential to occur due to the lack of cover within the project footprint. The San Francisco Dusky-Footed Woodrat may rarely disperse through the footprint.

Other identified species are not likely to occur due to the absence of suitable habitat elements or vegetation communities (which include coastal prairie, dune habitat, pond habitat, refugia, logs, rock outcrops, large burrows, suitable bat roosts, friable soils, appropriate elevations, etc.). The project study area's disturbed nature and regular tilling likely preclude most native flora and fauna.

Based on the results of the biological assessment, no Environmentally Sensitive Habitat Areas (ESHA) have been identified in the study area, including no coastal wetlands nor unique or occupied habitats. Much of the site is dominated by invasive or ornamental plants or areas that have been disturbed, tilled or farmed. Butano Creek riparian habitat is located more than 50 feet away from the proposed project and will not be affected by the project scope. Additionally, habitat to the south of the existing access road will also be completely avoided. The California Red-Legged Frog may have movement during periods of wet weather and best management practice are provided and recommended to ensure avoidance of any dispersing individuals. If Allen hummingbird does nest in surrounding habitat, the species could be affected during the nesting season. The following avoidance measures are recommended:

Mitigation Measure 2: Environmental Awareness Training: Prior to the start of work, environmental awareness training should be provided to all construction crew. Training will include a description of all biological resources that may be found on or near the Project Study Area, the laws and regulations that protect those resources, the consequences of non-compliance with those laws and regulations, instructions for inspecting equipment each morning prior to activities, and a contact person if protected biological resources are discovered in the Project Study Area.

Mitigation Measure 3: Wildlife Exclusion Fencing (WEF): At least 14 days prior to the commencement of construction-related activities, California Red-Legged Frog (CRLF) exclusion fencing with exit funnels shall be installed between the riparian corridor and the Project footprint under the direction of a qualified biologist. Following installation, the fence should be inspected

weekly by trained construction personnel to monitor and maintain the fence throughout the duration of the Project's ground-disturbing activities.

Mitigation Measure 4: Erosion Control Materials: Tightly woven fiber netting or similar material shall be used for erosion control or other purposes to ensure amphibian and reptile species do not get trapped. Plastic mono-filament netting (erosion control matting) rolled erosion control products, or similar material shall not be used.

Mitigation Measure 5: Pre-Construction Wildlife Surveys: Pre-construction surveys for CRLF shall be conducted prior to initiation of project activities and within 48 hours of the start of ground disturbance activities. After the Wildlife Exclusion Fence has been properly erected, scoping of any burrows on the site to ascertain the absence of CRLF is recommended in lieu of daily biological monitoring. Surveys are to be conducted by a qualified biologist. If CRLF is detected during the survey, the animal should be allowed to leave the area on its own accord.

Mitigation Measure 6: Nesting Bird Seasonal Work Window or Surveys: Tree and vegetation removal activities should be initiated during the non-nesting season from September 1 to January 31 to the extent feasible. If work cannot be initiated during this period, then nesting bird surveys shall be performed in suitable nesting habitat within 250 feet of the project footprint. If nests are found, a no-disturbance buffer should be placed around the nest until young have fledged or the nest is determined to be no longer active by the biologist. The size of the buffer may be determined by the biologist based on species and proximity to activities but should generally be between 50 feet for songbirds and up to 250 feet for nesting raptors.

Source: Project Plans, Sol Ecology Biological Resources Evaluation, dated May 31, 2023.

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|---|--|---|--|--|
| 4.b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service or National Marine Fisheries Service? | | x | | |
|---|--|---|--|--|

Discussion: See response to 4.a.

Source: Project Plans, Sol Ecology Biological Resources Evaluation, dated May 31, 2023.

| | | | | |
|--|--|--|--|---|
| 4.c. Have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? | | | | x |
|--|--|--|--|---|

Discussion: No wetlands were identified in the Project Study Area.

Source: Project Plans, Sol Ecology Biological Resources Evaluation, dated May 31, 2023.

| | | | | |
|--|--|---|--|---|
| 4.d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites? | | x | | |
| <p>Discussion: See response to 4.a.</p> <p>Source: Project Plans, Sol Ecology Biological Resources Evaluation, dated May 31, 2023.</p> | | | | |
| 4.e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance (including the County Heritage and Significant Tree Ordinances)? | | | | x |
| <p>Discussion: There are no trees in the project study area, therefore, no trees will be impacted by this project.</p> <p>Source: Project Plans.</p> | | | | |
| 4.f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, other approved local, regional, or state habitat conservation plan? | | | | x |
| <p>Discussion: The project area is not subject to a Habitat Conservation Plan, Natural Conservation Community Plan, or other approved conservation plan.</p> <p>Source: Project Plans, Sol Ecology Biological Resources Evaluation, dated May 31, 2023.</p> | | | | |
| 4.g. Be located inside or within 200 feet of a marine or wildlife reserve? | | | | x |
| <p>Discussion: The project area is not within 200 feet of a marine or wildlife reserve.</p> <p>Source: Project Plans, Sol Ecology Biological Resources Evaluation, dated May 31, 2023., California Department of Fish and Game Marine Protected Areas Map.</p> | | | | |
| 4.h. Result in loss of oak woodlands or other non-timber woodlands? | | | | x |
| <p>Discussion: The parcel and project study area do not contain oak woodlands; thus these would not be impacted by the project.</p> <p>Source: Project Plans, GIS.</p> | | | | |

| 5. CULTURAL RESOURCES. Would the project: | | | | |
|---|--|-------------------------------------|-------------------------------------|------------------|
| | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 5.a. Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5? | | x | | |

Discussion: The California Historical Resources Information System (CHRIS) recommended notifying specific Native American tribes that may be affiliated with the project area. Staff sent notification by certified mail to the recommended tribe list and did not receive comment from any tribes. A referral to Sonoma State recommended an archeological study. The applicant submitted an archaeological study dated March 2024 prepared by SWCA Environmental Consultants.

An archaeological study dated March 2024 prepared by SWCA Environmental Consultants confirmed no previously recorded cultural resources were identified within the project area or the 0.25-mile records search radius, and no new cultural resources were identified during the pedestrian survey.

Review of cultural resources data and environmental conditions note there is a moderate or high potential to encounter previously unrecorded, intact buried archaeological deposits within the project area. Should the project excavation approach or exceed one meter in depth, SWCA recommends a limited exploratory test using a backhoe or archaeological monitoring during construction within these areas

Most of the area is covered by the Corralitos soil that are associated with alluvial deposits along Butano Creek. Since the alluvium was deposited over the past several hundred years or less, some prehistoric archaeological materials or sites may have been buried that cannot be detected by surface survey in the project area. It is possible that intact subsurface archaeological deposits could be encountered if deep (meets or exceeds one meter in depth) and/or extensive earth disturbing activities occur within the alluvial floodplain portion of the project area.

Excavations for the septic tank will exceed 1 meter in depth and a limited testing program or monitoring would be strongly recommended in these specific areas to determine if buried archaeological remains are present or absent within the area where earth disturbance will occur. Limited testing would likely entail a single-day of exploratory trenching using a tractor-mounted backhoe or similar type of equipment. It is anticipated that 2 to 3 trenches would be excavated to a depth of about 8 feet below surface in the footprint of the septic tank, and another 2 to 3 trenches could be placed within the proposed leach field to confirm whether cultural materials are present or absent in both areas. The nature and extent of the trenches would be documented in the field and the results and findings provided in a brief technical report.

Based on the information and findings outlined, and with the implementation of the recommendations and the inadvertent discovery procedures outlined, the proposed project will have a less than significant impact to archaeological resources under CEQA with the implementation of regulatory compliance measures related to the inadvertent discovery of archaeological resources and human remains.

The following mitigation measures will ensure project impacts, should cultural resources be found, be reduced to less than significant levels.

Mitigation Measure 7: In the event that unanticipated cultural resources are exposed during disturbance activities, work within 15 meters (50 feet) of the find must stop and a Secretary of the Interior (SOI)-qualified archaeologist (the SWCA Project Manager must be notified immediately). Work may not resume until a qualified archaeologist can evaluate the significance of the find; however, disturbance activities may continue in other areas. If the discovery proves significant, additional work such as archaeological testing, data recovery, or consultation with stakeholders may be warranted.

Mitigation Measure 8: The discovery of human remains during the course of the project is a possibility. If human remains are encountered, then the procedures outlined by the NAHC, in accordance with Section 7050.5 of the California Health and Safety Code and PRC Section 5097.98, would be followed. If the monitor determines that a discovery includes human remains:

1. All ground-disturbing work within the immediate vicinity (25 feet) of the find would halt.
2. The archaeologist would contact the San Mateo County Coroner: San Mateo County Coroner 50 Tower Road, San Mateo, CA 94402 Phone: 650/ 312-5562
3. As a courtesy, the County Coroner would also notify the NAHC: Native American Heritage Commission 915 Capitol Mall, Room 364 Sacramento, California 95814 Phone: 916/ 373-3710, Email: nahc@nahc.ca.gov

The County Coroner would have two (2) working days to examine the remains after being notified in accordance with California Health and Safety Code Section 7050.5. If the San Mateo County Coroner determines that the remains are Native American and are not subject to the County Coroner's authority, the County Coroner has 24 hours to notify the NAHC of the discovery. The NAHC would immediately designate and notify the Native American Most Likely Descendant (MLD), who will have 48 hours after being granted access to the location of the remains to inspect them and provide recommendations for the treatment of them.

Mitigation Measure 9: In the event that cultural, paleontological, or archaeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Director of Planning and Building of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Director of Planning and Building for review and approval a report of the findings and methods of curation or protection of the resources. In addition, an archaeological report meeting the Secretary of the Interior's Standards detailing the findings of the monitoring will be submitted to the Northwest Information Center after monitoring has ceased. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred.

Mitigation Measure 10: If a newly discovered resource is, or is suspected to be, Native American in origin, the resource shall be treated as a significant Tribal Cultural Resource, pursuant to Public Resources Code 21074, until the County has determined otherwise with the consultation of a qualified archaeologist and local tribal representative.

Source: Project Plans, SWCA Archaeological Report, dated March 2024.

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| 5.b. | Cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA Section 15064.5? | | X | | |
| <p>Discussion: See discussion under 5.a.</p> <p>Source: Project Plans, SWCA Archaeological Report, dated March 2024.</p> | | | | | |
| 5.c. | Disturb any human remains, including those interred outside of formal cemeteries? | | x | | |
| <p>Discussion: See discussion under 5.a.</p> <p>Source: SWCA Archaeological Report, dated March 2024.</p> | | | | | |

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|--|--|--|-------------------------------------|-------------------------------------|------------------|
| 6. ENERGY. Would the project: | | | | | |
| | | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 6.a. | Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation? | | | x | |
| <p>Discussion: Energy consumption associated with the project would be limited to construction (i.e., construction vehicles) which would be limited and temporary for the implementation of the project. Title 24 requires the design of building shells and building components to conserve energy. The standards are updated periodically to allow for consideration and possible incorporation of new energy efficiency technologies and methods.</p> <p>At the time of building permit application, the project would be required to demonstrate compliance with the current Building Energy Efficiency Standards which would be verified by the San Mateo County Building Department prior to the issuance of the building permit. The project would also be required to adhere to the provisions of CALGreen and GreenPoints, which establishes planning and design standards for sustainable site development, energy efficiency (in excess of the California Energy Code requirements), water conservation, material conservation, and internal air contaminants. No further mitigation is required.</p> <p>Source: Project Plans.</p> | | | | | |
| 6.b. | Conflict with or obstruct a state or local plan for renewable energy or energy efficiency. | | | | x |

Discussion: The proposed project will be required to comply with any applicable 2019 Building Energy Efficient Standards which will be verified by the San Mateo County Building Department prior to the issuance of a building permit. The project may also be required to adhere to the provisions of CALGreen which established planning and design standards for sustainable site development and energy efficiency (in excess of the California Energy Code requirements), among other standards.

The construction for the farm labor housing, water storage tanks, septic system, and converted domestic well would require the consumption of nonrenewable energy resources, primarily in the form of fossil fuel (e.g., fuel oil, natural gas, and gasoline) for construction vehicles and equipment. Transportation energy use during construction would come from the transport and use of construction equipment, delivery vehicles and haul trucks, and construction employee vehicles that would use diesel fuel and/or gasoline. The use of energy resources by these vehicles would fluctuate according to the phase of construction, would be temporary, and would not require expanded energy supplies or the construction of new infrastructure. Most construction equipment would be gas-powered or diesel-powered.

Source: Project Plans.

| 7. GEOLOGY AND SOILS. Would the project: | | | | |
|---|--|-------------------------------------|-------------------------------------|------------------|
| | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 7.a. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving the following, or create a situation that results in: | | | | |
| i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? <i>Note: Refer to Division of Mines and Geology Special Publication 42 and the County Geotechnical Hazards Synthesis Map.</i> | | | x | |
| <p>Discussion: The project geotechnical report prepared by Sigma Prime Geosciences Inc. confirms the site is suitable for the project. The site is not located in an Alquist Priolo special study area or zone. Active faults are not believed to exist beneath the site and the potential for fault rupture to occur at the site is low.</p> <p>Source: Project Plans, San Mateo County Geographic Information System, Sigma Prime Geosciences, Inc.</p> | | | | |
| ii. Strong seismic ground shaking? | | | x | |

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| <p>Discussion: Per the Sigma Prime Geosciences, Inc. geotechnical report, the site is located in an active seismic area. Moderate to large earthquakes are probable along several active faults over a 30–50-year design life. Strong shaking should be expected during the lifetime of the proposed structure. The project shall be designed and constructed in accordance with the current earthquake resistance standards pursuant to Building Code requirements. No further mitigation is required.</p> <p>Source: Project Plans, San Mateo County Geographic Information System, Sigma Prime Geosciences, Inc.</p> | | | | |
| iii. Seismic-related ground failure, including liquefaction and differential settling? | | | x | |
| <p>Discussion: Per the geotechnical report, due to the medium stiff clay and minor amounts of loose sand existing on the parcel, a small amount of differential compaction may occur and therefore likelihood of significant damage from differential compaction is low.</p> <p>Loose silty sand below the water table were encountered but are limited. The likelihood of liquefaction occurring on site is moderate. No mitigation is required.</p> <p>Source: Project Plans, San Mateo County Geographic Information System, Sigma Prime Geosciences, Inc.</p> | | | | |
| iv. Landslides? | | | | x |
| <p>Discussion: The San Mateo County Geographic Information System shows the parcel is located in an area that is not evaluated for landslide. The likelihood of landslide is low.</p> <p>Source: Project Plans, San Mateo County Geographic Information System.</p> | | | | |
| v. Coastal cliff/bluff instability or erosion? | | | | x |
| <p><i>Note to reader: This question is looking at instability under current conditions. Future, potential instability is looked at in Section 7 (Climate Change).</i></p> | | | | |
| <p>Discussion: The project site is not located on a cliff or bluff.</p> <p>Source: Project Plans, San Mateo County Geographic Information System.</p> | | | | |
| 7.b. Result in substantial soil erosion or the loss of topsoil? | | x | | |
| <p>Discussion: The property is relatively flat. There is very minor erosion expected to occur for the project. The project is conditioned to install erosion control measures prior to building permit issuance.</p> <p>The following mitigation measure is proposed.</p> <p>Mitigation Measure 11 (formerly 13): Prior to commencement of the project, the applicant shall submit to the Planning Department for review and approval, an erosion and drainage control plan that shows how the transport and discharge of soil and pollutant from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of</p> | | | | |

sediment capturing devices. The plan shall limit application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plans shall adhere to the San Mateo County Wide Stormwater Pollution Prevention Program "General Construction and Site Guidelines," including:

- a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
- b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
- c. Performing clearing and earthmoving activities only during dry weather.
- d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
- e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
- f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
- h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
- j. Limiting construction access routes and stabilization of designated access points.
- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
- l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
- n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.

Source: Project Plans.

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| 7.c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, severe erosion, liquefaction or collapse? | | x | | |
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| <p>Discussion: Per discussion under 7.a. through 7.c., the project site does not contain a geological unit or soil that is presently unstable and is located in an area not evaluated for landslide, the likelihood of landslide is expected to be low. There will be erosion resulting from construction and grading which will be mitigated through Mitigation Measure 11. The Sigma Prime Geotechnical Report does not indicate the project site is subject to lateral spreading, subsidence or collapse.</p> <p>Source: Project Plans, Sigma Prime Geosciences, Inc.</p> | | | | | |
| 7.d. | Be located on expansive soil, as defined in Table 18-1-B of Uniform Building Code, creating substantial direct or indirect risks to life or property? | | | x | |
| <p>Discussion: There are no known expansive soils on the project site. The site is noted as having Ma and CuA soils per the Natural Resources Conservation Service (NRCS) map. Ma is Grade 3 (fair rating) and not generally classified as prime agricultural land and CuA is Grade 2 (good). There is no expectation of encountering expansive soils which would result in a risk to life and/or property.</p> <p>The Sigma Prime Geosciences, Inc. report states the site is suitable for the proposed construction, provided the recommendations presented in the report are followed during design and construction. The report does not cite the project site having expansive soil.</p> <p>Source: Sigma Prime Geosciences, Inc., Project Plans.</p> | | | | | |
| 7.e. | Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater? | | | | x |
| <p>Discussion: The project proposes a septic system and converting an agricultural well to domestic use; both components have received preliminary approval by Environmental Health Services.</p> <p>Each four-bedroom premanufactured structure will utilize a 1,500-gallon septic tank for primary treatment, for a total of 3,000-gallon septic tank. Each structure is required to have four leach lines, with each leach line required to have 180 linear feet of leach trench. The two leach systems are combined into one system. Each leach field will have 360 linear feet of leach trench.</p> <p>Source: Project Plans, Environmental Health Services.</p> | | | | | |
| 7.f. | Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature? | | x | | |
| <p>Discussion: No known unique geologic features are present within the project area. There is a low probability that the project would destroy or cause impact to a unique paleontological resource or unique geologic feature. Should any paleontological evidence be discovered, Mitigation Measure 9 shall be implemented.</p> <p>Source: Project Plans, SWCA Archaeologic Report, dated March 2024.</p> | | | | | |

| 8. CLIMATE CHANGE. Would the project: | | | | |
|---|--|-------------------------------------|-------------------------------------|------------------|
| | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 8.a. Generate greenhouse gas (GHG) emissions (including methane), either directly or indirectly, that may have a significant impact on the environment? | | x | | |
| <p>Discussion: A minor temporary increase in greenhouse gases may occur during the construction phase. Vehicles and equipment associated with the construction phase of the project are subject to California Air Resources Board emission standards. Although the project scope is not likely to significantly generate greenhouse gases, see mitigation measure 1.</p> <p>Source: California Air Resources Board, San Mateo County Energy Efficiency Climate Action Plan.</p> | | | | |
| 8.b. Conflict with an applicable plan (including a local climate action plan), policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases? | | | | x |
| <p>Discussion: The project does not conflict with the San Mateo County Energy Efficiency Climate Action Plan provided that the mitigation measure 1 is implemented.</p> <p>Source: San Mateo County Energy Efficiency Climate Action Plan.</p> | | | | |
| 8.c. Result in the loss of forestland or conversion of forestland to non-forest use, such that it would release significant amounts of GHG emissions, or significantly reduce GHG sequestering? | | | | x |
| <p>Discussion: The subject parcel does not have trees and is not considered forestland.</p> <p>Source: Project Location, Project Plans.</p> | | | | |
| 8.d. Expose new or existing structures and/or infrastructure (e.g., leach fields) to accelerated coastal cliff/bluff erosion due to rising sea levels? | | | | x |
| <p>Discussion: The project site is not located on a coastal cliff or bluff. According to the San Mateo County (Bay and Coastal Areas) Sea Level Rise map, the project site is not located in a vulnerable area.</p> <p>Source: Project Location, San Mateo County (Bay and Coastal Areas) Sea Level Rise map.</p> | | | | |
| 8.e. Expose people or structures to a significant risk of loss, injury or death involving sea level rise? | | | | x |

Discussion: The project is located approximately three quarters of a mile from the ocean. Given the topography and distance sea level rise is not expected to impact this parcel. According to the San Mateo County (Bay and Coastal Areas) Sea Level Rise map, the project site is not located in a vulnerable area.

Source: Project Location, San Mateo County (Bay and Coastal Areas) Sea Level Rise map.

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| 8.f. Place structures within an anticipated 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? | | | | x |
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Discussion: The project parcel is located in Zone X (areas of minimal flood hazard) and Zone A (special flood hazard area without an established base flood elevation). The proposed development is all located outside of the flood plain.

Source: Project Location, Project Plans, Federal Emergency Management Agency, Panel 06081C0432E, Effective Date: October 16, 2012.

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| 8.g. Place within an anticipated 100-year flood hazard area structures that would impede or redirect flood flows? | | | | x |
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Discussion: See discussion under 8.f., above.

Source: Project Location, Project Plans, Federal Emergency Management Agency, Panel 06081C0432E, Effective Date: October 16, 2012.

9. HAZARDS AND HAZARDOUS MATERIALS. Would the project:

| | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
|---|--|-------------------------------------|-------------------------------------|------------------|
| 9.a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials (e.g., pesticides, herbicides, other toxic substances, or radioactive material)? | | | | x |

Discussion: Project construction includes some storage and use of hazardous materials. As required by the standard requirements of Mitigation Measure 12 above, the project is required to store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater, and control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses. As required by the State Municipal Regional Permit, the County is required to inspect the site for compliance with

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| stormwater pollution prevention measures on a monthly basis during the wet season (April 1 – May 30) throughout project grading and construction. | | | | | |
| Source: Project Plans. | | | | | |
| 9.b. | Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? | | | x | |
| Discussion: See discussion under 9.a. Source: Project Plans. | | | | | |
| 9.c. | Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? | | | | x |
| Discussion: The project site is not within one-quarter mile of an existing or proposed school. The project does not involve elements which would emit hazardous emissions or handle hazardous or acutely hazardous materials, substances or waste. Source: Project Location. | | | | | |
| 9.d. | Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? | | | | x |
| Discussion: The project site is not located on a list of hazardous materials sites. Source: Project Location, California Department of Toxic Substances Control. | | | | | |
| 9.e. | For a project located within an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, result in a safety hazard or excessive noise for people residing or working in the project area? | | | | x |
| Discussion: The project site is not located within an airport land use plan area or within 2 miles of a public airport or public use airport. Source: Project Location. | | | | | |

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| 9.f. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? | | | | x |
| <p>Discussion: The proposed project elements are proposed completely and entirely within the parcel boundaries. The project includes four farm labor housing units, driveway turnouts, septic system, parking area and water storage tanks for fire suppression. There is no expected impact to any emergency response or evacuation plan. The project would not permanently or significantly impede access on existing public roads. Furthermore, the project has been reviewed and approved with conditions by the County Public Works Department and the San Mateo County Fire Department.</p> <p>Source: Project Location.</p> | | | | |
| 9.g. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires? | | | x | |
| <p>Discussion: The subject parcel is located in a State Responsibility Area mapped as moderate risk for wildland fires. The proposed project includes approved fire ingress/egress to the site and onsite water storage tanks for fire suppression. The parcel is currently developed, and new structures will be constructed to the applicable fire code. A review of the project was completed by the San Mateo County Fire Department and was conditionally approved.</p> <p>Source: Project Location, San Mateo County Fire Department, California Fire Hazard Severity Zone Map.</p> | | | | |
| 9.h. Place housing within an existing 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? | | | | x |
| <p>Discussion: The proposed project site is located outside of the 100-year flood hazard boundary.</p> <p>Source: Project Location, Project Plans, Federal Emergency Management Agency, Panel 06081C0432E, Effective Date: October 16, 2012.</p> | | | | |
| 9.i. Place within an existing 100-year flood hazard area structures that would impede or redirect flood flows? | | | | x |
| <p>Discussion: See discussion under 8.f. and 9.h., above.</p> <p>Source: Project Plans, Federal Emergency Management Agency, Panel No. 06081C0432E, Effective Date: October 16, 2012.</p> | | | | |
| 9.j. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam? | | | | x |

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| <p>Discussion: The development is proposed to be located outside of the flood plain. The project site is not located in the vicinity of a levee or dam inundation area.</p> <p>Source: Project Location, Federal Emergency Management Agency, Flood Map Service Center.</p> | | | | | |
| 9.k. | Inundation by seiche, tsunami, or mudflow? | | | | x |
| <p>Discussion: No, the project site is not located within a tsunami or seiche inundation area. The project site area is relatively flat and therefore not susceptible to mudflow.</p> <p>Source: San Mateo County Geographic Information System.</p> | | | | | |

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| 10. HYDROLOGY AND WATER QUALITY. Would the project: | | | | | |
| | | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 10.a. | Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality (consider water quality parameters such as temperature, dissolved oxygen, turbidity and other typical stormwater pollutants (e.g., heavy metals, pathogens, petroleum derivatives, synthetic organics, sediment, nutrients, oxygen-demanding substances, and trash))? | | | x | |
| <p>Discussion: The project has the potential to generate polluted stormwater runoff during site grading and construction-related activities. However, these impacts would be reduced to a less than significant level with the implementation of Mitigation Measure 12 (see above).</p> <p>The project will be required to comply with the County's Drainage Policy requiring post-construction stormwater flows to be at, or below, pre-construction flow rates. Additionally, the project must include Low Impact Development (LID) site design measures in compliance with Provision C.3.i. of the County's Municipal Regional Stormwater Permit as the project will introduce 3,953 sq. ft. of new impervious surface. These standards will ensure that post-construction water runoff does not violate any water quality standard as the project proposes to direct roof and driveway runoff to vegetated areas. The proposed project was reviewed and conditionally approved by the Building Inspection Section's Civil Section for compliance with County drainage standards. Furthermore, the proposed septic system has been preliminarily reviewed and conditionally approved by the County Environmental Health Services. As such, the project is not expected to violate any water quality standards or waste discharge requirements.</p> <p>Source: Project Plans, C.3/C.6 Development Review Checklist, County of San Mateo Drainage Policy, County of San Mateo Environmental Health Services.</p> | | | | | |

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| 10.b. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin? | | | | X |
| <p>Discussion: The project proposes conversion of an existing agriculture well to a domestic well; the Environmental Health Services has issued conditional approval. The project is not expected to have a significant impact to the groundwater supply.</p> <p>Source: Environmental Health Services.</p> | | | | |
| 10.c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner that would: | | | | |
| i. Result in substantial erosion or siltation on- or off-site; | | | X | |
| <p>Discussion: The project does not involve the alteration of a course of a stream or river. The property has adjudication rights to draw agricultural water from Butano Creek and Arroyo de los Frijoles Creek. New buildings that are proposed are four new farm labor housing units and two water tanks for fire suppression. Minor changes to on-site drainage patterns resulting from the structures and site improvements will be reviewed and addressed at the building permit stage per the County's Municipal Regional Stormwater Permit and County Drainage Policy. No other changes to the site's existing drainage patterns are proposed.</p> <p>Source: Project Plans.</p> | | | | |
| ii. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site; | | | | X |
| <p>Discussion: The project proposes to introduce 3,953 sq. ft. of new impervious surface to the project site. Given the overall parcel size the proposed additional impervious surface is minor. The project is subject to compliance with the County's Drainage Policy and Provision C.3.i. of the San Francisco Bay Region Municipal Regional Permit which requires that the design of a project include measures to maintain the surface runoff at its current levels.</p> <p>Source: Project Plans, C3/C6 Development Review Checklist.</p> | | | | |
| iii. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or | | | | X |

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| Discussion: See discussion under Question 10(c)(ii). | | | | |
| Source: Project Plans. | | | | |
| iv. Impede or redirect flood flows? | | | | x |
| Discussion: See discussion under Question 10(c)(ii). | | | | |
| Source: Project Plans. | | | | |
| 10.d. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation? | | | | x |
| Discussion: The areas proposed for development are located outside of FEMA Flood Zone A and are not within a tsunami or seiche zone. | | | | |
| Source: Project Plans. | | | | |
| 10.e. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan? | | | | x |
| Discussion: The project will into conflict with or obstruct any water quality control plan as discussed above in Question 10.a. The proposal to convert an existing agricultural well to a domestic well has received preliminary approval from Environmental Health Services. The well conversion is not expected to conflict with a water quality control plan or interfere with a groundwater management plan. The domestic well is required to be certified by Environmental Health Services. | | | | |
| Source: Environmental Health Services. | | | | |
| 10.f. Significantly degrade surface or ground-water water quality? | | | | x |
| Discussion: See discussion under 10.a. and 10.b., above. | | | | |
| Source: Project Plans, San Mateo County Environmental Health Services. | | | | |
| 10.g. Result in increased impervious surfaces and associated increased runoff? | | | | x |
| Discussion: See discussion under Question 10(c)(ii) | | | | |
| Source: Project Plans. | | | | |

| 11. LAND USE AND PLANNING. Would the project: | | | | |
|---|--|-------------------------------------|-------------------------------------|------------------|
| | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 11.a. Physically divide an established community? | | | | x |
| <p>Discussion: The project development is contained entirely on the project parcel. The project does not involve elements that would result in the physical division of an established community.</p> <p>Source: Project Plans.</p> | | | | |
| 11.b. Cause a significant environmental impact due to a conflict with any land use plan, policy or regulation adopted for the purpose of avoiding or mitigating an environmental effect? | | | | x |
| <p>Discussion: The proposed project does not conflict with any applicable land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect.</p> <p>Source: Project Plans, Project Location, San Mateo County Zoning Regulations, San Mateo County General Plan, San Mateo County Local Coastal Program.</p> | | | | |
| 11.c. Serve to encourage off-site development of presently undeveloped areas or increase development intensity of already developed areas (examples include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)? | | | | x |
| <p>Discussion: The improvements associated with the project are limited to the project site and are limited to those necessary to serve the proposed project.</p> <p>Source: Project Plans, Project Location.</p> | | | | |

| 12. MINERAL RESOURCES. Would the project: | | | | |
|--|--|-------------------------------------|-------------------------------------|------------------|
| | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 12.a. Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State? | | | | x |

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| <p>Discussion: There are no known mineral resources that would be of value to the region or the residents of the state on the subject parcel.</p> <p>Source: Project Location, San Mateo County General Plan Mineral Resource Map.</p> | | | | |
| 12.b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan? | | | | x |
| <p>Discussion: There are no locally important mineral resource recovery site(s) delineated on the County's General Plan, any specific plan, or any other land use plan for the project site.</p> <p>Source: Project Location, San Mateo County General Plan, San Mateo County Zoning Regulations, San Mateo County Local Coastal Program.</p> | | | | |

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| <p>13. NOISE. Would the project result in:</p> | | | | |
| | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 13.a. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies? | | | | x |
| <p>Discussion: During project construction, excessive noise could be generated, particularly during grading and excavation activities. However, the project is subject to the County's Noise Ordinance which limits the days and hours of construction related activities. Once construction is complete, the project site is not expected to generate noise which would violate the San Mateo County Noise Ordinance.</p> <p>Source: Project Plans, San Mateo County Noise Ordinance.</p> | | | | |
| 13.b. Generation of excessive ground-borne vibration or ground-borne noise levels? | | | | x |
| <p>Discussion: There are no aspects of the project that would include generation of excessive ground-borne vibration or ground-borne noise levels beyond construction, which would be limited and temporary.</p> <p>Source: Project Plans.</p> | | | | |

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| 13.c. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, exposure to people residing or working in the project area to excessive noise levels? | | | | x |
| <p>Discussion: The project site is not located within the vicinity of a private airstrip, an airport land use plan area, or within 2 miles of a public airport or public use airport.</p> <p>Source: Project Location, Google Maps.</p> | | | | |

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| 14. POPULATION AND HOUSING. Would the project: | | | | |
| | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 14.a. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? | | | | x |
| <p>Discussion: The proposed development is limited to the project parcel. The project includes four farm labor housing unit, and the extent of associated improvements are limited to serving the project. No additional homes or businesses are proposed as part of the project.</p> <p>Source: Project Plans.</p> | | | | |
| 14.b. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere? | | | | x |
| <p>Discussion: The proposed project does not include the displacement of any people or housing. The project will provide needed on site housing for farm labor workers.</p> <p>Source: Project Plans.</p> | | | | |

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|---|
| <p>15. PUBLIC SERVICES. Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities, the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:</p> |
|---|

| | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
|--|--|-------------------------------------|-------------------------------------|------------------|
| 15.a. Fire protection? | | | X | |
| 15.b. Police protection? | | | X | |
| 15.c. Schools? | | | X | |
| 15.d. Parks? | | | X | |
| 15.e. Other public facilities or utilities (e.g., hospitals, or electrical/natural gas supply systems)? | | | X | |
| <p>Discussion: There are no anticipated substantial impacts to public services as a result of the project. While the project scope includes providing on site housing for farm laborers, the proposed increase in intensity of use at the property is not expected to generate a significant increased demand for fire, police, schools, parks, and/or other public services and facilities.</p> <p>Source: Project Plans, Project Location.</p> | | | | |

| 16. RECREATION. Would the project: | | | | |
|---|--|-------------------------------------|-------------------------------------|------------------|
| | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 16.a. Increase the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? | | | X | |
| <p>Discussion: The project would introduce residential housing to the property which could result in increased use of recreational facilities in the area, however, any increase in use from residents at the site is not expected to be significant to result in physical deterioration of any such facility as a result of the project.</p> <p>Source: Project Plans, Project Location.</p> | | | | |
| 16.b. Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment? | | | | X |
| <p>Discussion: Although the project does introduce residential use on the property, the project does not result in the need to expand or construct any recreational facilities.</p> | | | | |

Source: Project Plans, Project Location.

| 17. TRANSPORTATION. Would the project: | | | | |
|--|---------------------------------|------------------------------|------------------------------|-----------|
| | Potentially Significant Impacts | Significant Unless Mitigated | Less Than Significant Impact | No Impact |
| 17.a. Conflict with a program plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities, and parking? | | | | X |
| <p>Discussion: The project introduces low-density residential use on a rural property in the way of housing for farm workers; therefore, the project is not expected to generate substantial traffic to the area and does not conflict with a program plan, ordinance, or policy which involves transit, roadways, parking, or bicycle and pedestrian facilities.</p> <p>Source: Project Plans, Project Location.</p> | | | | |
| 17.b. Would the project conflict or be inconsistent with CEQA Guidelines Section 15064.3, Subdivision (b) <i>Criteria for Analyzing Transportation Impacts?</i> <i>Note to reader: Section 15064.3 refers to land use and transportation projects, qualitative analysis, and methodology.</i> | | | X | |
| <p>Discussion: California Environmental Quality Act Guidelines (CEQA) Section 15064.3 establishes a method for analyzing certain transportation impacts created by a proposed project. Under the requirements, transportation impacts must be analyzed based on vehicle miles traveled (VMT). For a land use project, if the estimated VMT exceeds an established threshold of significance, then the project could be a significant impact.</p> <p>Based on the County Department of Public Works' Inter-Departmental Correspondence on VMT for determining transportation impacts under CEQA analysis, the significance of VMT impacts in rural areas are set on a case-by-case basis. The proposed four farm labor housing unit project is considered a lower density use that is expected to generate a non-substantial increase in traffic to the roadway system; residents housed by the project will working onsite. Thus, the project has been determined to screen out of the need for a VMT study as a "small project" generating fewer than 110 daily trips, is consistent with the General Plan, and presents no evidence indicating a potentially significant level of VMT would result from the project.</p> <p>Source: Project Plans, Project Location, San Mateo County Department of Public Works Inter-Departmental Correspondence for Change to Vehicle Miles Traveled as Metric to Determine Transportation Impacts under CEQA Analysis, dated September 23, 2020.</p> | | | | |

| | | | | |
|--|--|--|--|---|
| 17.c. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? | | | | x |
| <p>Discussion: The project does not propose changes to existing public roads, Pescadero Creek Road or Cloverdale Road, or the access road to the property.</p> <p>Source: Project Plans.</p> | | | | |
| 17.d. Result in inadequate emergency access? | | | | x |
| <p>Discussion: The project has received conditional approval from the San Mateo County Fire Department who among other things, reviewed the project for adequate emergency access.</p> <p>Source: Project Plans, San Mateo County Fire Department.</p> | | | | |

| | | | | |
|---|--|-------------------------------------|-------------------------------------|------------------|
| 18. TRIBAL CULTURAL RESOURCES. Would the project: | | | | |
| | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 18.a. Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place or cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is: | | | | |
| i. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k) | | | X | |
| <p>Discussion: See discussion under question 5.a., above.</p> <p>Source: Project Location, SWCA Archaeologic Report, dated March 2024.</p> | | | | |
| ii. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in Subdivision (c) of Public | | | X | |

| | | | | |
|---|--|--|--|--|
| Resources Code Section 5024.1. (In applying the criteria set forth in Subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.) | | | | |
| Discussion: See discussion under question 5.a., above. | | | | |
| Source: Project Location, SWCA Archaeologic Report, dated March 2024. | | | | |

| | | | | |
|---|--|-------------------------------------|-------------------------------------|------------------|
| 19. UTILITIES AND SERVICE SYSTEMS. Would the project: | | | | |
| | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 19.a. Require or result in the relocation or construction of new or expanded water, wastewater treatment or stormwater drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects? | | | | x |
| <p>Discussion: The project includes a new septic system to serve the four farm labor housing units. The plans show the septic system and leach field are proposed outside of the 50-foot riparian buffer zone. Each four-bedroom pre-manufactured building (2 total) will utilize a 1,500-gallon septic tank for primary treatment. Each structure is required to have four leach fields, with each leach field required to consist of 180 linear feet of leach trench. The two leach systems are proposed to be combined into one system such that each leach field will have 360 linear feet of leach trench. The Sol Ecology biologist report incorporates avoidance measures, Mitigation Measures 2 through 6, to ensure species are completely avoided. The project includes conversion of an existing agricultural well to domestic use. The well has been reviewed by Environmental Health Services and received conditional approval. There is no expectation that the improved conversion to a domestic well will result in significant environmental effects. The structures are not expected to alter topography significantly. Drainage from the proposed buildings will be directed to a pop-up emitter for dispersal located away from the foundation. Other runoff will continue to drain and absorb into adjacent permeable alluvial soil. No changes to on site hydrology will occur as a result of the project. Exposed disturbed soils will be seeded and mulched or planted to control site erosion and prevent sediment transport off -site. The farm labor housing units and water storage tanks will have electricity as required by Building Code.</p> <p>The Source: Project Location, t Project Plan.</p> | | | | |
| 19.b. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years? | | | | x |

| | | | | | |
|---|--|--|--|--|---|
| <p>Discussion: Water for the farm labor housing will be supplied by converting the existing agriculture well to domestic water supply for the onsite residential units and is expected to remain consistent throughout the year. The total daily demand is estimated at 1,500 gallons-per-day (GPD), which is equivalent to a supply (pumping rate) of approximately 1.04 gallons-per-minute (GPM). Given that the well yields over 10 GPM, it is reasonable to conclude that the water supply is sufficient to meet the proposed residential water demand, while also continuing to supply ongoing agricultural water needs.</p> <p>Source: Project Location, Project Plans.</p> | | | | | |
| 19.c. | Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments? | | | | x |
| <p>Discussion: The project site is not served by a municipal wastewater treatment provider. See discussion under 19.a. regarding the proposed septic system.</p> <p>Source: Project Plans, Project Location.</p> | | | | | |
| 19.d. | Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals? | | | | x |
| <p>Discussion: The project as proposed does not include a use that would result in solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure. Solid waste generated from the permanent residential units is not expected to be significant. Furthermore, construction is required to comply with the County's Construction and Demolition Recycling requirements for waste and debris at the time of building permit.</p> <p>Source: Project Plans.</p> | | | | | |
| 19.e. | Comply with Federal, State, and local management and reduction statutes and regulations related to solid waste? | | | | x |
| <p>Discussion: See discussion under 19.d.</p> <p>Source: Project Location, Project Plans.</p> | | | | | |

| | | | | |
|---|--|-------------------------------------|-------------------------------------|------------------|
| 20. WILDFIRE. If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project: | | | | |
| | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
| 20.a. Substantially impair an adopted emergency response plan or emergency evacuation plan? | | | | x |
| <p>Discussion: The project site is located in an area designated as a “Moderate Fire Hazard Risk” on the State’s Fire Hazard Severity Zone Maps. The project site is accessed via existing roadways and existing gravel roadways.</p> <p>The project includes improvements to the driveway for adequate fire turnaround, adding water storage for fire suppression, and a new hydrant. All new structures will utilize the appropriate fire rated materials. The project scope is limited to the project parcel and does not require the closure of any public roads which could impact an emergency response or evacuation plan.</p> <p>Source: Project Plans, Project Location.</p> | | | | |
| 20.b. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire? | | | x | |
| <p>Discussion: The project site is in an area defined as being at moderate risk for fire danger. As discussed, the project site is relatively flat and developed with a few barns, packing shed, storage shed and 10 potable water storage tanks. The proposed project includes elements to improve fire safety by adding fire turnarounds to an existing access road adding an onsite hydrant and on site water tanks for fire suppression at the project site area. Therefore, physical or natural site conditions will not exacerbate wildfire risks.</p> <p>Source: Project Location.</p> | | | | |
| 20.c. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment? | | | x | |
| <p>Discussion: The project does not involve improvements that would exacerbate fire risk or result in impacts to the environment. See further discussion under 20.a. and 20.b., above.</p> <p>Source: Project Plans, Project Location.</p> | | | | |

| | | | | |
|--|--|--|--|---|
| 20.d. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes? | | | | x |
|--|--|--|--|---|

Discussion: The project area is relatively flat and located outside of FEMA Flood Zone A. The project site is not in a mapped area known for landslides based on review of the San Mateo County Geographic Information System (GIS). The proposed drainage has been designed to retain stormwater on-site in a manner that would not exacerbate flooding in the project area. The project is conditioned for fire safety improvements and does not increase the risk of wildfires or expose the structures to increased risks as a result of slope instability or runoff.

Source: Project Location, San Mateo County General Plan-Hazards Mapping.

21. MANDATORY FINDINGS OF SIGNIFICANCE.

| | <i>Potentially Significant Impacts</i> | <i>Significant Unless Mitigated</i> | <i>Less Than Significant Impact</i> | <i>No Impact</i> |
|---|--|-------------------------------------|-------------------------------------|------------------|
| 21.a. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? | | x | | |

Discussion: While the project is not expected to result in significant impacts to special status species and potentially sensitive habitats, mitigation measures are still included to ensure any potential impacts are avoided.

Source: Project Location, Project Plans.

| | | | | |
|---|--|--|--|---|
| 21.b. Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.) | | | | x |
|---|--|--|--|---|

Discussion: The proposed project results in low density residential improvements to the existing rural agricultural parcel. The proposed development will be contained onsite and avoids sensitive habitats and flood hazard areas. The existing onsite agriculture will continue and the project results in relatively minimal changes to the 549-acre property.

Source: Project Plans.

| | | | | |
|--|--|---|--|--|
| 21.c. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly? | | x | | |
|--|--|---|--|--|

Discussion: See discussion of 21.a. and 21.b. The project as proposed and mitigated is not expected to have substantial environmental effects on human beings directly or indirectly.

Source: Project Plans, Project Location.

RESPONSIBLE AGENCIES. Check what agency has permit authority or other approval for the project.

| AGENCY | YES | NO | TYPE OF APPROVAL |
|--|-----|----|------------------|
| Bay Area Air Quality Management District | | x | |
| Caltrans | | x | |
| City | | x | |
| California Coastal Commission | | x | |
| California Department of Food and Agriculture | | x | |
| County Airport Land Use Commission (ALUC) | | x | |
| Other: _____ | | x | |
| National Marine Fisheries Service | | x | |
| Regional Water Quality Control Board | | x | |
| San Francisco Bay Conservation and Development Commission (BCDC) | | x | |
| Sewer/Water District: | | x | |
| State Department of Fish and Wildlife | | x | |
| State Department of Public Health | | x | |
| State Water Resources Control Board | | x | |
| U.S. Army Corps of Engineers (CE) | | x | |
| U.S. Environmental Protection Agency (EPA) | | x | |
| U.S. Fish and Wildlife Service | | x | |

| | <u>Yes</u> | <u>No</u> |
|---|------------|-----------|
| Mitigation measures have been proposed in project application. | x | |
| Other mitigation measures are needed. | | x |
| <p>The following measures are included in the project plans or proposals pursuant to Section 15070(b)(1) of the State CEQA Guidelines:</p> <p><u>MITIGATION MEASURES</u></p> <p><u>Mitigation Measure 1:</u> Upon the start of excavation activities and through to the completion of the project, the applicant shall be responsible for ensuring that the following dust control guidelines are implemented:</p> <ol style="list-style-type: none"> a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day. b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered. c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited. d. All vehicle speeds on unpaved roads shall be limited to 15 mph. e. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used. f. All construction equipment shall be maintained and properly tuned in accordance with manufacturers' specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation. g. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of the California Code of Regulations (CCR)). Clear signage shall be provided for construction workers at all access points. h. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations. i. Construction-related activities shall not involve simultaneous occurrence of more than two construction phases (e.g., paving and building construction would occur simultaneously). | | |

Mitigation Measure 2: Environmental Awareness Training: Prior to the start of work, environmental awareness training should be provided to all construction crew. Training will include a description of all biological resources that may be found on or near the Project Study Area, the laws and regulations that protect those resources, the consequences of non-compliance with those laws and regulations, instructions for inspecting equipment each morning prior to activities, and a contact person if protected biological resources are discovered in the Project Study Area.

Mitigation Measure 3: Wildlife Exclusion Fencing (WEF): At least 14 days prior to the commencement of construction-related activities, California Red-Legged Frog (CRLF) exclusion fencing with exit funnels shall be installed between the riparian corridor and the Project footprint under the direction of a qualified biologist. Following installation, the fence should be inspected weekly by trained construction personnel to monitor and maintain the fence throughout the duration of the Project's ground-disturbing activities.

Mitigation Measure 4: Erosion Control Materials: Tightly woven fiber netting or similar material shall be used for erosion control or other purposes to ensure amphibian and reptile species do not get trapped. Plastic mono-filament netting (erosion control matting) rolled erosion control products, or similar material shall not be used.

Mitigation Measure 5: Pre-Construction Wildlife Surveys: Pre-construction surveys for CRLF shall be conducted prior to initiation of project activities and within 48 hours of the start of ground disturbance activities. After the Wildlife Exclusion Fence has been properly erected, scoping of any burrows on the site to ascertain the absence of CRLF is recommended in lieu of daily biological monitoring. Surveys are to be conducted by a qualified biologist. If CRLF is detected during the survey, the animal should be allowed to leave the area on its own accord.

Mitigation Measure 6: Nesting Bird Seasonal Work Window or Surveys: Tree and vegetation removal activities should be initiated during the non-nesting season from September 1 to January 31 to the extent feasible. If work cannot be initiated during this period, then nesting bird surveys shall be performed in suitable nesting habitat within 250 feet of the project footprint. If nests are found, a no-disturbance buffer should be placed around the nest until young have fledged or the nest is determined to be no longer active by the biologist. The size of the buffer may be determined by the biologist based on species and proximity to activities but should generally be between 50 feet for songbirds and up to 250 feet for nesting raptors.

Mitigation Measure 7: In the event that unanticipated cultural resources are exposed during disturbance activities, work within 15 meters (50 feet) of the find must stop and a Secretary of the Interior (SOI)-qualified archaeologist (the SWCA Project Manager must be notified immediately). Work may not resume until a qualified archaeologist can evaluate the significance of the find; however, disturbance activities may continue in other areas. If the discovery proves significant, additional work such as archaeological testing, data recovery, or consultation with stakeholders may be warranted.

Mitigation Measure 8: The discovery of human remains during the course of the project is a possibility. If human remains are encountered, then the procedures outlined by the NAHC, in accordance with Section 7050.5 of the California Health and Safety Code and PRC Section 5097.98, would be followed. If the monitor determines that a discovery includes human remains:

1. All ground-disturbing work within the immediate vicinity (25 feet) of the find would halt.

2. The archaeologist would contact the San Mateo County Coroner: San Mateo County Coroner 50 Tower Road, San Mateo, CA 94402 Phone: 650/ 312-5562
3. As a courtesy, the County Coroner would also notify the NAHC: Native American Heritage Commission 915 Capitol Mall, Room 364 Sacramento, California 95814
Phone: 916/ 373-3710, Email: nahc@nahc.ca.gov

The County Coroner would have two (2) working days to examine the remains after being notified in accordance with California Health and Safety Code Section 7050.5. If the San Mateo County Coroner determines that the remains are Native American and are not subject to the County Coroner's authority, the County Coroner has 24 hours to notify the NAHC of the discovery. The NAHC would immediately designate and notify the Native American Most Likely Descendant (MLD), who will have 48 hours after being granted access to the location of the remains to inspect them and provide recommendations for the treatment of them.

Mitigation Measure 9: In the event that cultural, paleontological, or archaeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Director of Planning and Building of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Director of Planning and Building for review and approval a report of the findings and methods of curation or protection of the resources. In addition, an archaeological report meeting the Secretary of the Interior's Standards detailing the findings of the monitoring will be submitted to the Northwest Information Center after monitoring has ceased. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred.

Mitigation Measure 10: If a newly discovered resource is, or is suspected to be, Native American in origin, the resource shall be treated as a significant Tribal Cultural Resource, pursuant to Public Resources Code 21074, until the County has determined otherwise with the consultation of a qualified archaeologist and local tribal representative.

Mitigation Measure 11: Prior to commencement of the project, the application shall submit to the Planning Department for review and approval, an erosion and drainage control plan that shows how the transport and discharge of soil and pollutant from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment capturing devices. The plan shall limit application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plans shall adhere to the San Mateo County Wide Stormwater Pollution Prevention Program "General Construction and Site Guidelines," including:

- a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
- b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.

- c. Performing clearing and earthmoving activities only during dry weather.
- d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
- e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
- f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
- h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
- j. Limiting construction access routes and stabilization of designated access points.
- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
- l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
- n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.

DETERMINATION (to be completed by the Lead Agency).

On the basis of this initial evaluation:

I find the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared by the Planning Department.

x

I find that although the proposed project could have a significant effect on the environment, there WILL NOT be a significant effect in this case because of the mitigation measures in the discussion have been included as part of the proposed project. A MITIGATED NEGATIVE DECLARATION will be prepared.

I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

Olivia Boo

Olivia Boo (Signature)

10/7/24

Planner

Date

(Title)

Attachments

A.Plans

B. Sol Ecology Biological Resources Evaluation

C. Sigma Prime Geosciences, Inc.



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT E

Attachment F: Biological Resources Evaluation



View toward existing Farm Center



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May 31, 2023

Laura O'Leary
Peninsula Open Space Trust (POST)
222 High Street
Palo Alto, CA 94301
loleary@openspacetrust.org

Re: Coastal Biological Resources Evaluation for Fifth Crow Farm Backfield Farm Labor Housing Project in Pescadero, San Mateo County, California

Dear Ms. O'Leary,

The purpose of this letter report is to provide the results of a biological resource evaluation (BRE) of the natural community, sensitive habitats, and special status species resources potentially present at Fifth Crow Farm Backfield Farm Labor Housing Project, located in rural San Mateo County, California, near the town of Pescadero (Project Study Area; Attachment A, Figure 1). This assessment is required for a new coastal development permit by the San Mateo County Planning Department. POST and Fifth Crow Farm are proposing to establish a four-unit farm worker housing cluster in two duplex structures in a corner of the existing farming ground, to accommodate Fifth Crow Farm's agricultural staff and families.

The Project is located east of Cloverdale Road approximately two miles south of the town of Pescadero and is accessible via a farm road. The Project Study Area is in a narrow valley situated between the Butano Ridge to the east and coastal hills to west. The property is one of numerous farms present along Cloverdale Road. Butano Creek flows on a westerly course along the northwestern boundary of the Project Study Area. The creek sustains a thick riparian corridor dominated by willows. Chaparral habitat forms the boundary to the south. The entire property is outside designated critical habitat for endangered species. The approximately 2.3-acre Project Study Area consists of an open field utilized for cultivating row crops, as shown in Attachment A, Figure 1.

The purpose of the assessment is to complete an evaluation of potential impacts to sensitive coastal habitats (or ESHA) from development of the proposed Project Study Area, under the guidelines of the San Mateo County Local Coastal Plan (LCP). This report describes the results of the assessment and provides recommendations for avoidance and minimization measures for any ESHA protected by local, state, and/or federal laws and regulations present on or in the immediate vicinity of the Project Study Area.

Methods

On April 14, 2023, Sol Ecology biologists conducted a biological resources study at the Project Study Area which includes the proposed project footprint and outlying areas that could be affected indirectly by project activities. Prior to the site visit, the Soil Survey of San Mateo County, California [U.S. Department of Agriculture (USDA) Web Soil Survey, Google Earth aerial images, USGS topographic quadrangle maps, and *A Manual of California Vegetation, Online Edition*¹ was reviewed to assess the potential for sensitive biological communities and special status species to occur on the Project Study Area. In addition, database searches of the California Natural Diversity Database (CNDDDB)² were performed for known occurrences of special-status species near the Project Study Area; these searches focused on the Half Moon Bay 7.5-minute USGS quadrangle and the five surrounding USGS quadrangles within 5 miles of the Project Study Area.

The assessment focused on determining whether suitable habitat elements for special status species (including those unique species listed in the LCP) documented in the surrounding vicinity are present on the Project Study Area or not and whether the project would have the potential to result in impacts to any of these species and/or their habitats either on- or off-site.

The Project Study Area was also evaluated to determine if any coastal wetland (one-parameter rule) is present, or if a riparian corridor is present. Coastal wetlands are defined as an area where the water table is at, near, or above the land surface long enough to bring about the formation of hydric soils or to support the growth of plants which normally are found to grow in water or wet ground (also known as hydrophytic); in either case, hydrology must be present also. To qualify, a coastal wetland must contain at least a 50 percent cover of some combination of these plants, unless it is a mudflat. Riparian corridors were identified as areas along streams that naturally support native vegetation and wetlands. These areas filter runoff, provide runoff protection, and facilitate groundwater recharge. Setbacks for wetlands are 100 feet; setbacks for riparian corridors are 50-feet for perennial streams and 30-feet for intermittent.

Coastal Wetland Criteria

Soils

The Natural Resource Conservation Service (NRCS) defines a hydric soil as follows:

“A hydric soil is a soil that formed under conditions of saturation, flooding, or ponding long enough during the growing season to develop anaerobic conditions in the upper part.”

Federal Register July 13, 1994,
U.S. Department of Agriculture, NRCS

¹ [CNPS] California Native Plant Society. 2018. *A Manual of California Vegetation, Online Edition*. Sacramento, California. Online at: <http://vegetation.cnps.org/>; most recently accessed: April 2023.

² California Department of Fish and Wildlife (CDFW). 2023. California Natural Diversity Database. Wildlife and Habitat Data Analysis Branch, Sacramento, CA; most recently accessed: April 2023.

Soils formed over long periods of time under wetland (anaerobic) conditions often possess characteristics that indicate they meet the definition of hydric soils. Hydric soils can have a hydrogen sulfide (rotten egg) odor, low chroma matrix color, generally designated 0, 1, or 2, used to identify them as hydric, presence of redox concentrations, gleyed or depleted matrix, or high organic matter content.

Hydrology

Evidence of wetland hydrology can include primary indicators, such as visible inundation or saturation, drift deposits, oxidized root channels, and salt crusts, or secondary indicators such as the FAC-neutral test, presence of a shallow aquitard, or crayfish burrows. The Arid West Supplement³ contains 16 primary hydrology indicators and 10 secondary hydrology indicators. Only one primary indicator is required to meet the wetland hydrology criterion; however, if secondary indicators are used, at least two secondary indicators must be present to conclude that an area has wetland hydrology.

Vegetation

Plant species observed on the Project Study Area were identified using the CNPS Online Manual. Plants were assigned a wetland indicator status according to the National Wetland Plant List (NWPL)⁴ as described below. To qualify, a wetland must contain at least a 50 percent cover of some combination of obligate and facultative wetland plants. FAC species were not considered due to their common association with coastal upland habitats unless in present in combination with an obligate species and clear indicators of hydrology were present.

Wetland indicator statuses listed in the NWPL are based on the expected frequency of occurrence in wetlands as follows:

| | | | |
|------|---------------------|----------------------------------|----------------|
| OBL | Obligate (OBL) | Always found in wetlands | >99% frequency |
| FACW | Facultative Wetland | Usually found in wetlands | 67-99% |
| FAC | Facultative | Equal in wetland or non-wetlands | 34-66% |
| FACU | Facultative Upland | Usually found in non-wetlands | 1-33% |
| UPL | Upland | Upland/Not listed (upland) | <1% |

Results

Biological communities present on the Project Study Area were classified based on existing plant community descriptions described in the CNPS Online Manual. Sensitive habitats are those habitats defined as sensitive under the Mid-Coast LCP Section 7.1 and are described below if found.

³ U.S. Army Corps of Engineers (USACE). 2010. Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Western Mountains, Valleys, and Coast Region (Version 2.0).

⁴ USACE. 2020. National Wetland Plant List. Western Mountains, Valleys, and Coast Regional List. Online at: https://wetland-plants.usace.army.mil/nwpl_static/v34/home/home.html; accessed: May 2023

The elevation within the Project Study Area is uniformly 19.8 meters (65 feet above mean sea level). The Project Study Area encompasses two soil map units identified by the USDA, NRCS (USDA 2019):

- **Corralitos sandy loam, over gravel, nearly level, imperfectly drained (CuA):** this soil map unit covers almost the entire site. It consists of soils that are deep and somewhat poorly drained and is sub-prime farmland. These soils were formed in alluvial materials. Minor components include Soquel (5%), Dublin (5%), Tunitas (4%) and unnamed (1%). Sandy loam is the predominant soil type in the Project Study Area and it is not rated as hydric.
- **Mixed alluvial land (Ma):** this soil map unit is in a very small area located along the Butano Creek riparian corridor and extends only slightly into the Project Study Area. It consists of soils that are deep and excessively drained and is considered to be sub-prime farmland. These soils were formed in alluvium. Minor components include Unnamed (5%) and Terrace escarpments (5%) and neither of these is hydric.

Vegetation communities present in the Project Study Area were classified based on existing plant community descriptions described in the California Native Plant Society Online Manual of California Vegetation (CNPS 2023a). However, in some cases it is necessary to identify variants of community types or to describe non-vegetated areas that are not described in the literature.

The entire Project Study Area was devoid of trees and is comprised of a fallow agricultural field covered in non-native species. Grasses observed included soft chess (*Bromus hordeaceus*), rattail sixweeks grass (*Festuca myuros*), foxtail barley (*Hordeum murinum*), and annual bluegrass (*Poa annua*). Other herbaceous species included mustard (*Hirschfeldia incana*) field bindweed (*Convolvulus arvensis*), scarlet pimpernel (*Lysimachia arvensis*), California burclover (*Medicago polymorpha*), wild radish (*Raphanus sativus*), common groundsel (*Senecio vulgaris*), fava bean (*Vicia faba*), spring vetch (*Vicia sativa*), and bird's eye speedwell (*Veronica persica*). One native species, pineapple weed (*Matricaria discoidea*), was observed. Species observed during the assessment are provided in Attachment C.

Sensitive Habitats (ESHA)

Based on data available on the site and conditions observed at the time of the site assessment, two ESHAs were observed outside the Project footprint but are within the Project Study Area. These included Butano Creek and its riparian habitat/corridor as shown on Figure 1 (Attachment A).

Riverine

A little more than 100 feet away from the proposed Project footprint to the northeast, Butano Creek flows on a westerly course along the northwestern boundary of the Project Study Area. Butano Creek is a perennial creek that is within the Pescadero Creek Watershed. The creek channel is very wide, averaging about 20 feet. The banks are very steep with a great deal of erosion on both banks. At the time of the April 2023 survey, flows within the creek were about 3 to 4 feet deep. No aquatic vegetation was present in the creek due to recent rain events. The

creek is designated critical habitat for coho salmon (*Oncorhynchus kisutch*) – central California coast Evolutionarily Significant Unit (ESU) population 4, and steelhead (*O. mykiss irideus*) Distinct Population Segment (DPS) population 8.

Riparian

The riparian corridor associated with Butano Creek consists of dense vegetation dominated by a contiguous canopy comprised of a mix of red willow (*Salix laevigata*) and arroyo willow (*S. lasiolepis*); this habitat is located more than 50 feet to the northeast of the proposed project footprint as shown in Figure 1. Plant species observed in the understory consisted of blue elderberry (*Sambucus nigra*), California blackberry (*Rubus ursinus*), and annual stinging nettle (*Urtica urens*). Abundant wildlife was present in the riparian corridor. Birds observed included song sparrow (*Melospiza melodia*), and Allen’s hummingbird (*Selasphorus sasin*). Mammals included brush rabbit (*Sylvilagus bachmani*), and a large San Francisco dusky-footed woodrat (SFDW; *Neotoma fuscipes annectens*) nest complex. Both Allen’s hummingbird and SFDW are considered special status species.

Special Status Species

Special-status species include those plants and wildlife species that have been formally listed, are proposed as endangered or threatened, or are candidates for such listing under the Federal Endangered Species Act (ESA) or California Endangered Species Act (CESA). These acts afford protection to both listed species and those that are formal candidates for listing. Plant species on the California Native Plant Society (CNPS) Rare and Endangered Plant Inventory (Inventory) with California Rare Plant Ranks (Rank) of 1 and 2 are also considered special-status plant species. CDFW Species of Special Concern, CDFW California Fully Protected species, USFWS Birds of Conservation Concern, and CDFW Special-status Invertebrates are all considered special-status species. Furthermore, CDFG Fish and Game Code and the Migratory Bird Treaty Act (MBTA) prohibits the take of actively nesting birds as well as common bats and their roosts (CDFG Code only). Lastly, special status species in this report include all rare or unique species listed in the LCP.

Eleven (11) special status plants have been documented within five miles of the Project Study Area (Attachment A, Figure 2). Of these, no special status plants are present or have potential to occur in the Project Study Area due to the disturbed nature and historic tilling. One species, Choris’ popcornflower is documented to occur in annual grassland and chaparral habitat located south of the Project footprint. No indirect effects to this community are likely to occur due to the aspect of the southerly slope to the site and proximity to existing disturbances.

Eighteen (18) special status animals have been documented within five miles of the Project Study Area (Attachment A, Figure 3). Given proximity of the site to Butano Creek and its associated riparian habitat to the northeast, and chaparral habitat to the south (located outside the study area), two (2) federal listed species, and two special status species along with other migratory bird species protected under the MBTA may be present in surrounding habitats outside the proposed project footprint. These species are described in greater detail in Table 1 below.

Table 1. Special Status Wildlife with Potential to Occur in the Project Study Area

| Scientific Name/ Common Name | Status ¹ | Habitat | Potential for Occurrence Within the Project Footprint |
|---|---------------------|---|--|
| Amphibians and Reptiles | | | |
| <i>Thamnophis sirtalis tetrataenia</i> San Francisco garter snake | FE, SE, FP | Occur in the vicinity of freshwater marshes, ponds, and slow-moving streams in San Mateo County and extreme northern Santa Cruz County. Prefers dense cover and water depths of at least one foot. Upland areas near water are also very important. | Low Potential: Multiple occurrences within five miles; the nearest is a garter snake found dead on Cloverdale Road at a location approximately 0.2 miles north of the Project Study Area. Nearby Butano Creek is documented to provide foraging and dispersal habitat for this species. This species is not likely to be present in the proposed footprint, due to the lack of available cover and limited refugia close to water and thus, the site would not be considered ESHA . This species is not likely to be present outside nearby riparian habitat given the site is not within any dispersal corridor and lacks necessary cover. |
| <i>Rana draytonii</i> California red-legged frog | FT, SSC | Lowlands in or near permanent sources of deep water with dense, shrubby, or emergent riparian vegetation. Requires 11 to 20 weeks of permanent water for larval development. Prefers shorelines with extensive vegetation. Disperses through upland habitats after rains. | Moderate Potential: Multiple occurrences within five miles; the nearest is within one mile of the Project Study Area. Nearby Butano Creek is documented to provide foraging and dispersal habitat for this species. Rodent burrows on the site provide marginally suitable refugia for dispersing frogs; however, upland habitat is not present due to lack of suitable breeding habitat within 300 feet; further, the site is outside designated critical habitat. CRLF may disperse into the project footprint, but lack of suitable upland features nor breeding habitat indicates the Project Study Area would not be considered ESHA for this species . |
| Birds | | | |
| <i>Selasphorus sasin</i> Allen's hummingbird | BCC | Resident to the coast of California and Oregon during the breeding season. Nests are constructed in trees or shrubs near shady streams in both understory and tree canopy. | Low Potential: An Allen's hummingbird was observed in the Butano Creek riparian corridor adjacent to the Project footprint during the April 14, 2023 survey. Suitable nesting habitat is present in the adjacent riparian corridor and in the chaparral habitat upslope of the Project Study Area; there is no suitable nesting substrate in the Project footprint and as such, would not be considered ESHA . |
| Mammals | | | |
| <i>Neotoma fuscipes annectens</i> San Francisco dusky-footed woodrat | SSC | Forest, riparian, and chaparral habitats of moderate canopy and moderate to dense understory. Constructs nests of shredded grass, leaves, and other material. | Low Potential: Nearby Butano Creek riparian corridor to the north and chaparral habitat to the south provide suitable habitat for this species. Lack of cover within the project footprint precludes this species on the site. SFDFW may rarely disperse through the footprint. As such, the site would not be considered ESHA . |

¹ FE/FT – Federal Endangered/Threatened
SSC – CDFW Species of Special Concern

SE/ST – State Endangered/Threatened
FP – CDFW Fully Protected Species

FC/SC – Federal or State Candidate
BCC – Bird of Conservation Concern

Other species identified in the database review or LCP are not likely to occur on the Project Study Area due to the absence of suitable habitat elements or vegetation communities including coastal prairie, or dune habitat, pond habitat, refugia (downed logs, rock outcrops, large burrows, etc.), suitable bat roosts, friable soils, appropriate elevations, etc. Generally, the Project Study Area's overall disturbed nature and regular tilling likely precludes most native flora and fauna.

Discussion and Recommendations

Based on the results of this assessment, no ESHA have been identified on the Project Study Area, including no coastal wetlands nor unique or occupied habitats. Much of the site is dominated by invasive and ornamental plants typical of areas that have been disturbed or where topsoil has been removed for tilling or farming. These areas generally do not support most native flora and fauna.

Butano Creek and its associated riparian habitat is located more than 50 feet away from proposed activities and as such, will not be affected by proposed activities. Similarly, habitat to the south of the access road will also be completely avoided. These habitats are likely to support at least four (4) special status wildlife species described in Table 1, including two federal listed species: SFGS and CRLF. Neither species is likely to occur in the proposed footprint due to lack of suitable refugia. However, CRLF may make overland movements during periods of wet weather. As such, best management practices are provided below to ensure avoidance of any dispersing individuals. Similarly, Allen's hummingbird, and other migratory birds may nest in surrounding habitats, and if present, could be adversely affected during the nesting season.

Incorporation of the following avoidance measures will ensure that take of these species is completely avoided:

1. **Environmental Awareness Training:** Prior to the start of work, environmental awareness training should be provided to all construction crew. Training will include a description of all biological resources that may be found on or near the Project Study Area, the laws and regulations that protect those resources, the consequences of non-compliance with those laws and regulations, instructions for inspecting equipment each morning prior to activities, and a contact person if protected biological resources are discovered on the Project Study Area.
2. **Wildlife Exclusion Fencing (WEF):** At least 14 days prior to the commencement of construction-related activities, CRLF exclusion fencing with exit funnels shall be installed between the riparian corridor and the Project footprint under the direction of a qualified biologist. Following installation, the fence should be inspected weekly by trained construction personnel to monitor and maintain the fence throughout the duration of the Project's ground-disturbing activities.
3. **Erosion control Materials:** Tightly woven fiber netting or similar material shall be used for erosion control or other purposes to ensure amphibian and reptile species do not get trapped. Plastic mono-filament netting (erosion control matting) rolled erosion control products, or similar material shall not be used.

4. **Pre-Construction Wildlife Surveys:** Pre-construction surveys for CRLF shall be conducted prior to initiation of project activities within 48 hours of the start of ground disturbance activities. After the Wildlife Exclusion Fence has been properly erected, scoping of any burrows on the site to ascertain the absence of CRLF is recommended in lieu of daily biological monitoring. Surveys are to be conducted by a qualified biologist. If CRLF is detected during the survey, the animal should be allowed to leave the area on its own accord.
5. **Nesting Bird Seasonal Work Window or Surveys:** Tree and vegetation removal activities should be initiated during the non-nesting season from September 1 to January 31 to the extent feasible. If work cannot be initiated during this period, then nesting bird surveys should be performed in suitable nesting habitat within 250 feet of the project footprint.

If nests are found, a no-disturbance buffer should be placed around the nest until young have fledged or the nest is determined to be no longer active by the biologist. The size of the buffer may be determined by the biologist based on species and proximity to activities but should generally be between 50 feet for songbirds and up to 250 feet for nesting raptors.

Please do not hesitate to contact me with any questions.

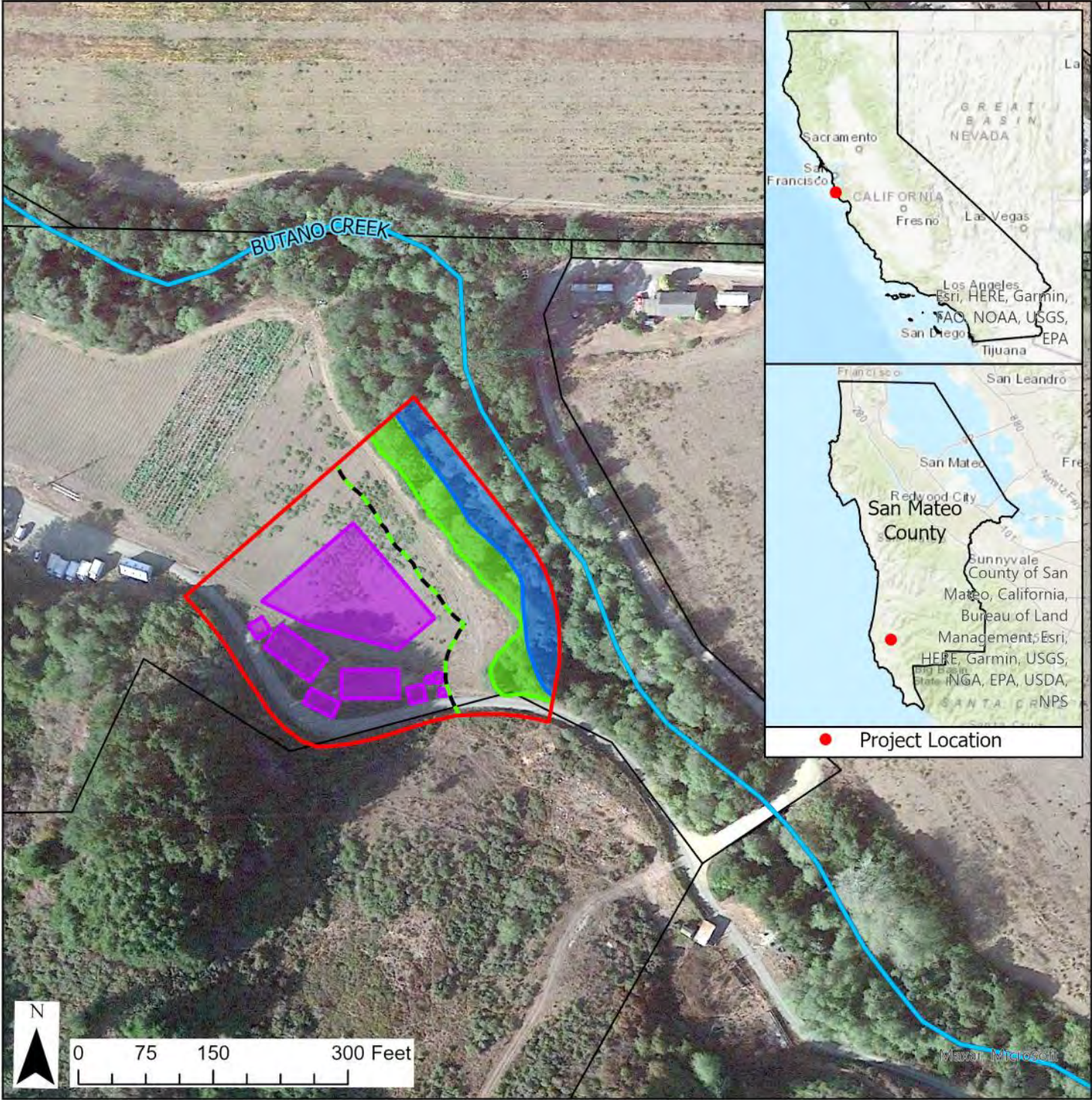
Sincerely,



Dana Riggs,
Principal Biologist

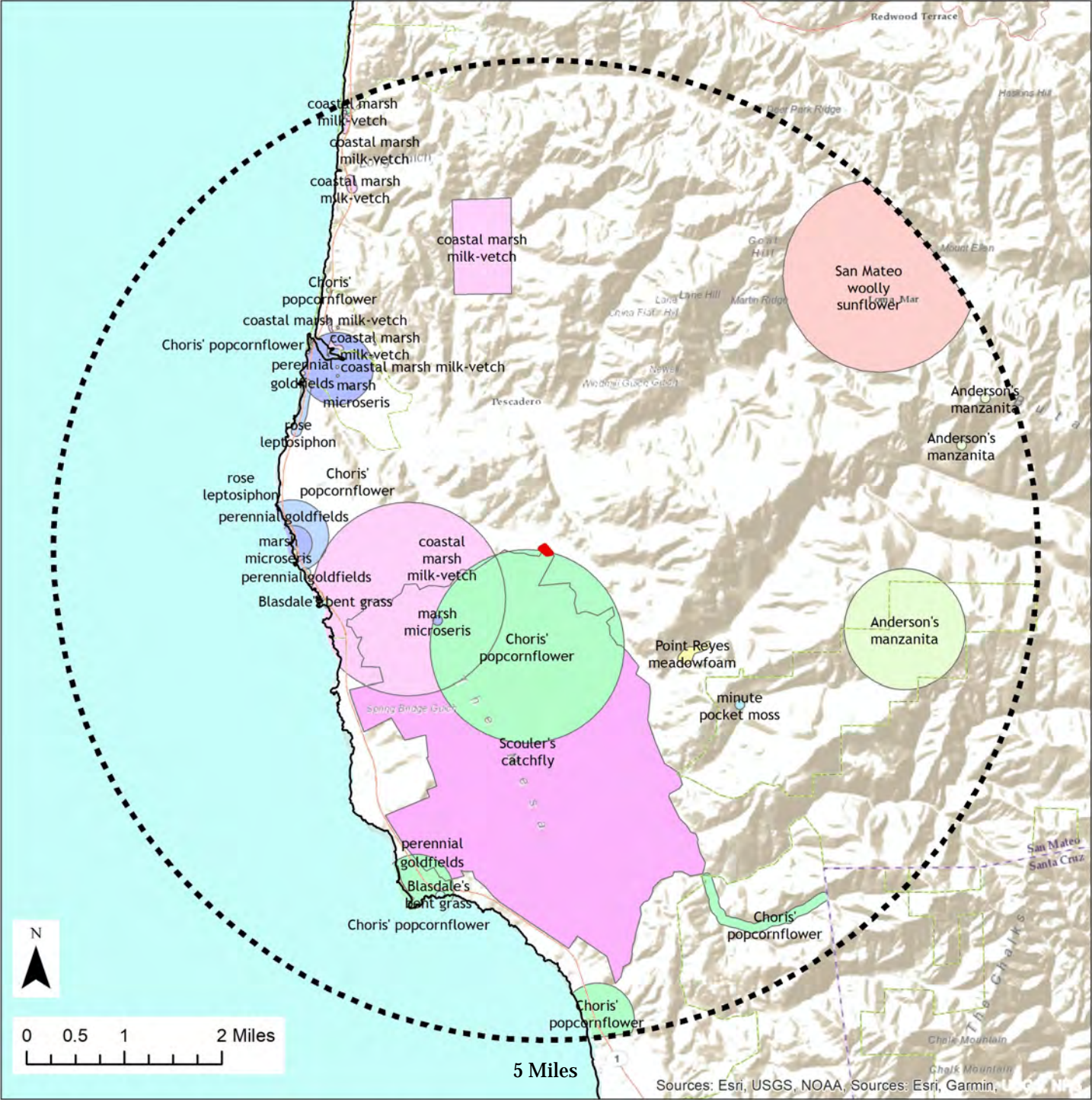
Attachments (3): (A) Project Figures; (B) Site Photographs; (C) Observed Species Tables

Attachment A. Figure 1: Location of Project Area
Fifth Crow Farms Backfield Project, San Mateo County, CA



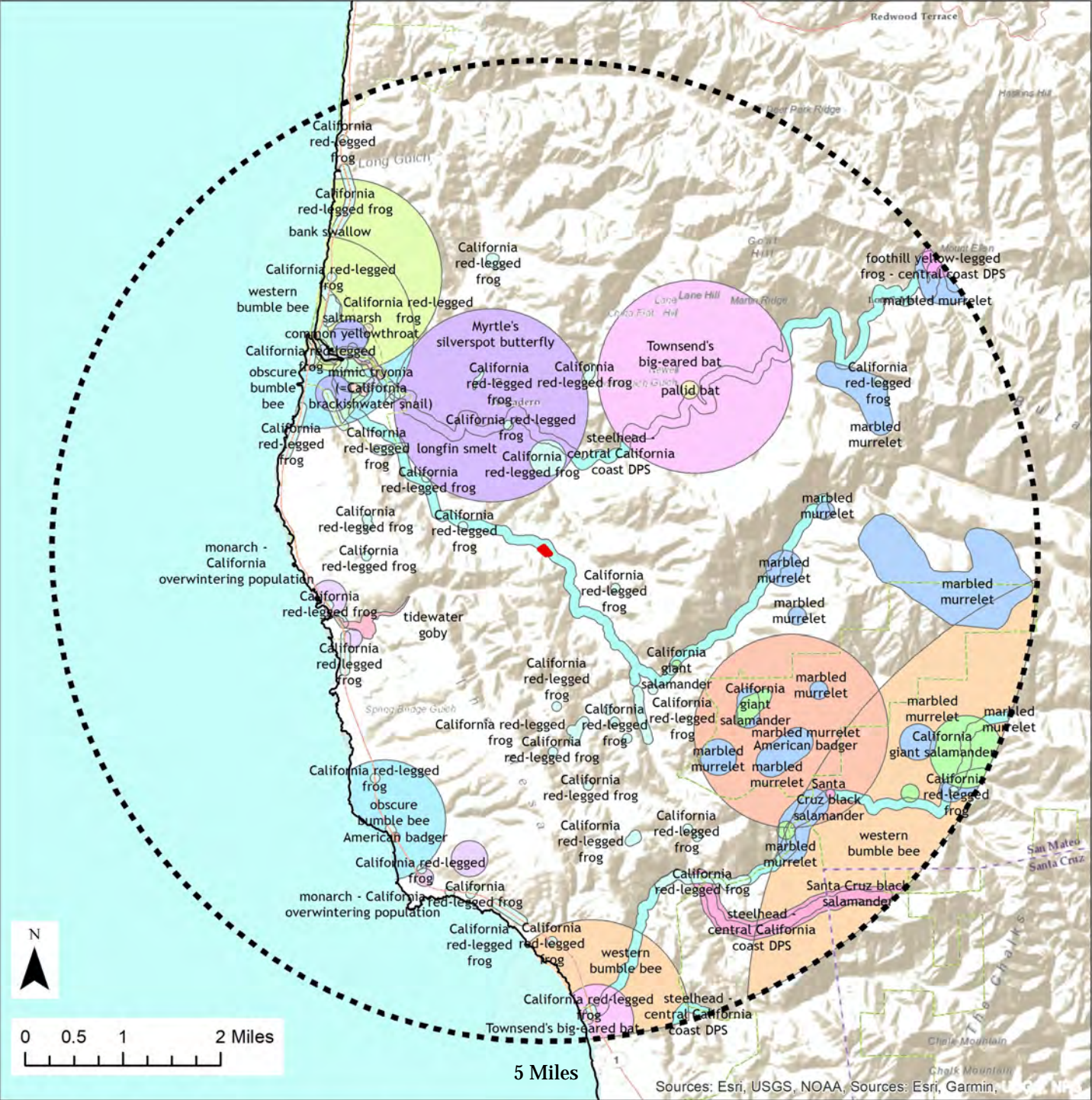
- Study Area (2.281 ac)
- Butano Creek Top of Bank
- Streams
- Project Features
- Riparian Habitat
- Parcels
- 50 Foot Riparian Setback

Figure 2: Special Status Plant Species within 5 Miles of the Project Site
 Fifth Crow Farms Backfield Project, San Mateo County, California



- Project Study Area
- 5-Mile Buffer
- Anderson's manzanita (3)
- Blasdale's bent grass (3)
- Choris' popcornflower (8)
- Point Reyes meadowfoam (1)
- San Mateo woolly sunflower (1)
- Scouler's catchfly (1)
- coastal marsh milk-vetch (5)
- marsh microseris (3)
- minute pocket moss (1)
- perennial goldfields (4)
- rose leptosiphon (2)

Figure 3: Special Status Wildlife Species within 5 Miles of the Project Site
 Fifth Crow Farms Backfield Project, San Mateo County, California



| | | | |
|-----------------------------------|---|---|--|
| Project Study Area | Santa Cruz black salamander (2) | marbled murrelet (14) | steelhead - central California coast DPS (3) |
| 5-Mile Buffer | Townsend's big-eared bat (2) | mimic tryonia (=California brackishwater snail) (2) | tidewater goby (2) |
| American badger (2) | bank swallow (1) | monarch - California overwintering population (4) | western bumble bee (3) |
| California giant salamander (5) | foothill yellow-legged frog - central coast DPS (1) | obscure bumble bee (2) | western pond turtle (1) |
| California red-legged frog (40) | great blue heron (1) | pallid bat (1) | western snowy plover (1) |
| Myrtle's silverspot butterfly (1) | longfin smelt (1) | saltmarsh common yellowthroat (2) | |

Attachment B. Site Photographs



Photo 1. Project Study Area. Looking northwest toward Butano Creek and riparian corridor.



Photo 2. Project footprint within Project Study Area. Looking north.



Photo 3. Chaparral habitat south of the Project footprint. Looking south.



Photo 4. Willow riparian corridor. Looking north.

Attachment C. Observed Species Tables

Table 2. Observed Plant Species

| Common name | Scientific name | Origin |
|---|-----------------------------------|---------------------|
| Non-native grassland (Project footprint) | | |
| Soft chess | <i>Bromus hordeaceus</i> | Invasive non-native |
| Shepherd's purse | <i>Capsella bursa-pastoris</i> | Non-native |
| Field bindweed | <i>Convolvulus arvensis</i> | Non-native |
| Rattail sixweeks grass | <i>Festuca myuros</i> | Invasive non-native |
| Mustard | <i>Hirschfeldia incana</i> | Non-native |
| Foxtail barley | <i>Hordeum murinum</i> | Non-native |
| Scarlet pimpernel | <i>Lysimachia arvensis</i> | Non-native |
| Pineapple weed | <i>Matricaria discoidea</i> | Native |
| California burclover | <i>Medicago polymorpha</i> | Invasive non-native |
| Annual bluegrass | <i>Poa annua</i> | Non-Native |
| Wild radish | <i>Raphanus sativus</i> | Non-native |
| Common groundsel | <i>Senecio vulgaris</i> | Non-native |
| Fava bean | <i>Vicia faba</i> | Non-native |
| Spring vetch | <i>Vicia sativa</i> | Non-native |
| Bird's eye speedwell | <i>Veronica persica</i> | Non-native |
| Riparian Corridor (Project Study Area) | | |
| California blackberry | <i>Rubus ursinus</i> | Native |
| Blue elderberry | <i>Sambucus nigra</i> | Native |
| Red willow | <i>Salix laevigata</i> | Native |
| Arroyo willow | <i>S. lasiolepis</i> | Native |
| Annual stinging nettle | <i>Urtica urens</i> | Native |
| Coastal Scrub (Project Study Area) | | |
| Coyote brush | <i>Baccharis pilularis</i> | Native |
| Ceanothus (multiple species) | <i>Ceanothus</i> ssp. | Native |
| Coastal bush lupine | <i>Lupinus arboreus</i> | Native |
| Poison oak | <i>Toxicodendron diversilobum</i> | Native |

Table 3. Observed Wildlife Species

| Common name | Scientific name |
|--------------------------|-------------------------------|
| <i>Amphibians</i> | |
| Pacific tree frog | <i>Pseudacris regilla</i> |
| <i>Birds</i> | |
| California quail | <i>Callipepla californica</i> |
| Wild turkey | <i>Meleagris gallopavo</i> |
| Allen's hummingbird | <i>Selasphorus sasin</i> |
| California scrub-jay | <i>Aphelocoma californica</i> |
| Common raven | <i>Corvus corax</i> |
| American crow | <i>Corvus brachyrhynchos</i> |
| Song sparrow | <i>Melospiza melodia</i> |
| Dark-eyed junco | <i>Junco hyemalis</i> |
| House finch | <i>Haemorhous mexicanus</i> |
| <i>Mammals</i> | |
| Brush rabbit | <i>Sylvilagus bachmani</i> |
| Black-tailed deer | <i>Odocoileus hemionus</i> |