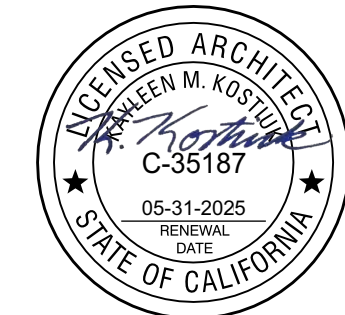


PROJECT DIRECTORY

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**AVENUE
 PORTOLA
 RESIDENCE**
 167 AVENUE PORTOLA,
 EL GRANADA CA 94018

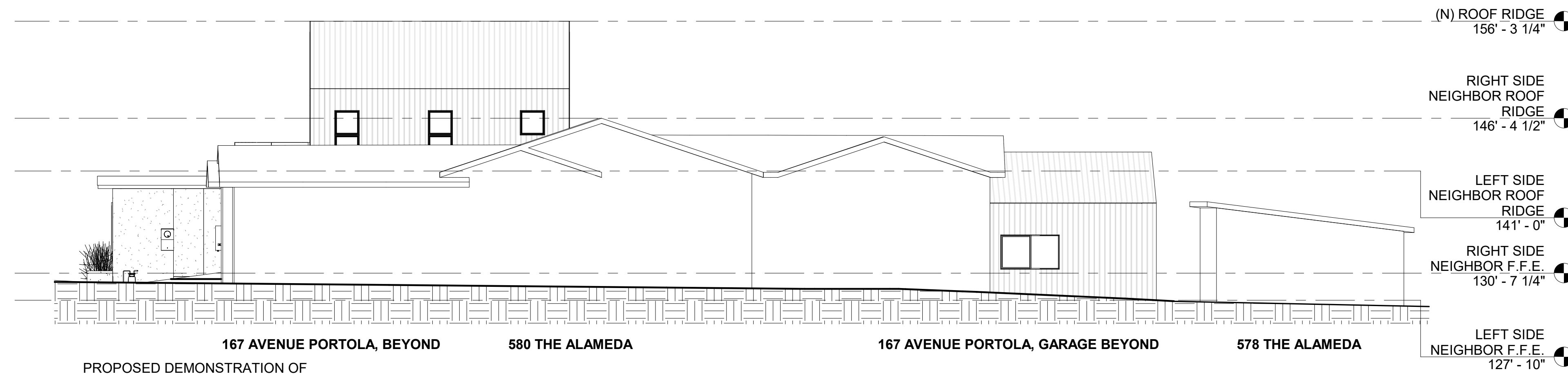
REVISIONS

NO.	DESCRIPTION	DATE
2	DEMONSTRATION OF SCALE CONTEXT	7/26/2024

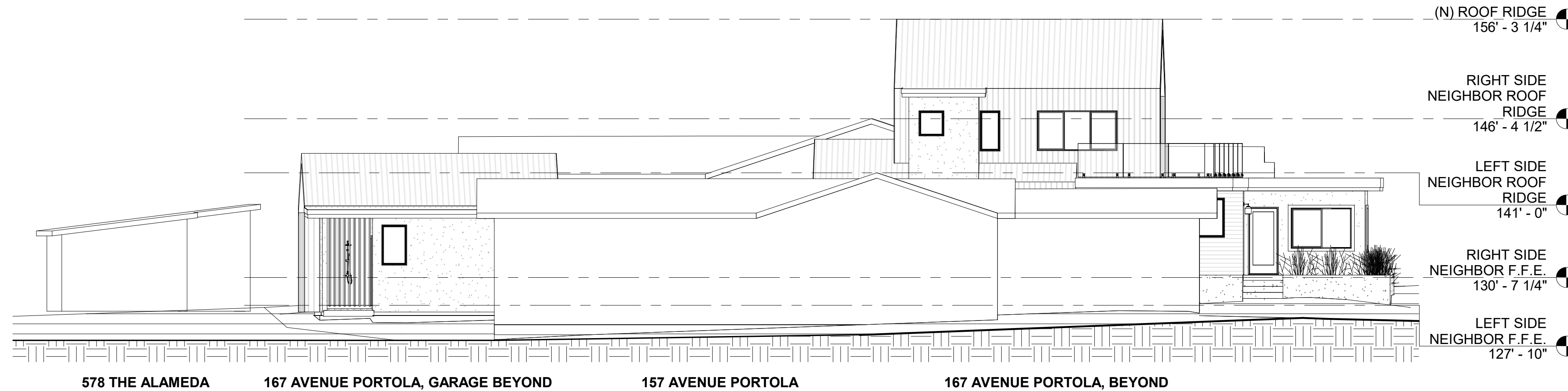
PROJECT NUMBER: 22111
 ISSUE DATE: 05/03/2024
 SCALE: 1/8" = 1'-0"
 ISSUE STATUS:
CDRC APPLICATION

**DEMONSTRATION OF
 SCALE**

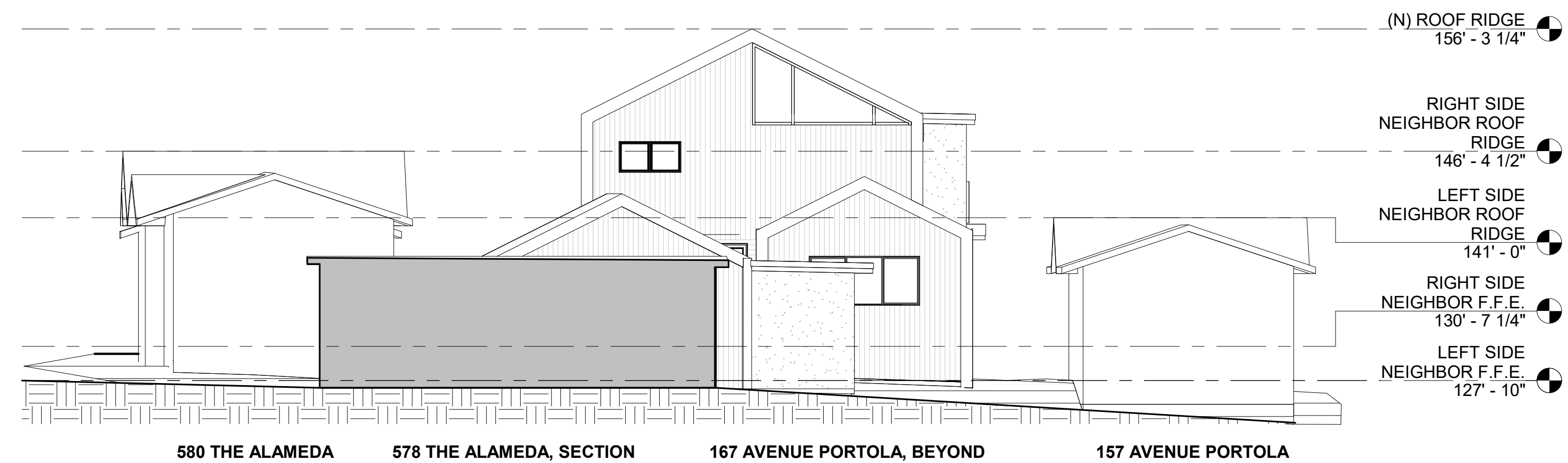
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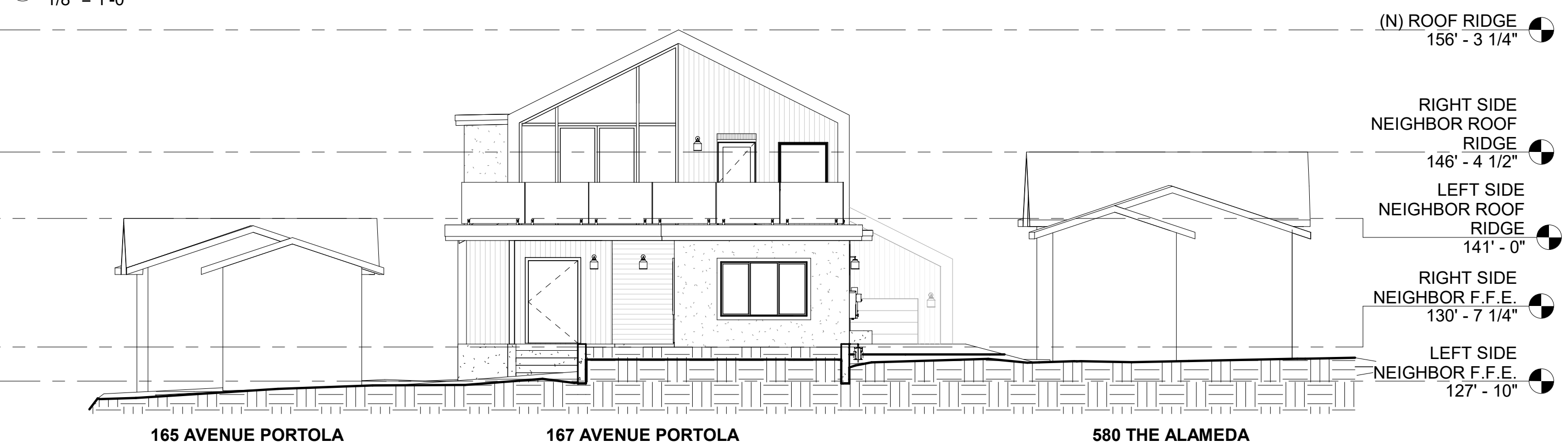
04 PROPOSED DEMONSTRATION OF SCALE - THE ALAMEDA
 1/8" = 1'-0"



03 PROPOSED DEMONSTRATION OF SCALE - LEFT SIDE ELEVATION
 1/8" = 1'-0"



02 PROPOSED DEMONSTRATION OF SCALE - REAR ELEVATION
 1/8" = 1'-0"



01 PROPOSED DEMONSTRATION OF SCALE - AVENUE PORTOLA
 1/8" = 1'-0"



6 THE ALAMEDA PERSPECTIVE - PROPOSED



5 THE ALAMEDA PERSPECTIVE - EXISTING

AVENUE PORTOLA RESIDENCE

FAT PEN
STUDIOS

GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2022 BUILDING CODE, CALIFORNIA ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODE, AS AMENDED AND ADOPTED BY SAN MATEO COUNTY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS OF THE SITE, AND EXISTING UTILITIES PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
- CONTRACTOR SHALL GIVE NOTICES AND COMPLY WITH THE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PERTINENT PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. NOTIFY ARCHITECT IF THE DRAWINGS ARE AT VARIANCE THEREWITH.
- CONTRACTOR SHALL KEEP A RECORD SET OF ALL AS-BUILT CONDITIONS AND PROVIDE THE ARCHITECT WITH A SET OF REPRODUCIBLE AS-BUILT DRAWINGS UPON COMPLETION OF THE PROJECT.
- DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS, SIZES, ETC. REFER TO DIMENSIONS GIVEN ON DRAWINGS OR CONSULT WITH ARCHITECT. ALL INTERIOR DIMENSIONS ARE TO THE FACE OF FINISH, UNLESS OTHERWISE NOTED. ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, UNLESS OTHERWISE NOTED.
- REFER TO STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL REQUIREMENTS OF THIS DISCIPLINE. ALL STRUCTURAL INFORMATION SHOWN ON ARCHITECTURAL DRAWINGS IS FOR COORDINATION PURPOSES ONLY. CONTRACTOR SHALL PROMPTLY NOTIFY ARCHITECT UPON DISCOVERY OF POSSIBLE CONFLICTS.
- PROVIDE FIRE PROTECTING AT CEILINGS, FLOORS, FURRED DOWN CEILINGS, SHOWERS, SOFFITS, AND AT CONCEALED DRAFT OPENINGS NOT TO EXCEED 10" MAXIMUM.
- THE MINIMUM TREAD DIMENSION SHALL BE 10 INCHES. THE MAXIMUM RISER SHALL BE 7.75 INCHES WITH A MAXIMUM VARIATION OF 3/8 INCH.
- INSULATION SHALL BE PROVIDED PER T24 REPORT. REFER TO ROOF NOTES, SECTIONS & DETAILS FOR SPECIFIC INSULATION SPECIFICATIONS. GENERALLY, EXTERIOR WALLS SHALL BE R-15, FLOORS SHALL BE R-19 (NOT APPLICABLE ON SLAB), ROOF SHALL BE R-38 (TYP).
- ALL SHEET METAL WORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "SMACNA ARCHITECTURAL SHEET METAL MANUAL," LATEST EDITION.
- ALL DOORS NOT LOCATED BY DIMENSIONS ON PLANS SHALL BE 4" FROM FACE OF STUD TO EDGE OF OPENING.
- INTERIOR WOOD SHALL BE 1 3/4" THICK AND SHALL MATCH (E) IN TYPE & FINISH. FURNISH ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES REQUIRED FOR COMPLETE INSTALLATION OF WOOD DOORS.
- FURNISH AND INSTALL PERIMETER WEATHER STRIPPING AND THRESHOLDS AT EXTERIOR DOORS AS MANUFACTURED BY PEMKO OR EQUIVALENT.
- NEW WINDOWS AND EXTERIOR DOORS WITH GLAZING SHALL MEET THE U-FACTOR AND SHGC SPECIFIED IN THE T24 REPORT. DIMENSIONS ARE NOMINAL. VERIFY WITH MFR FOR SPECIFIC R.O. AND MODEL NUMBER.
- ALL GLASS AND GLAZING SHALL CONFORM WITH HUMAN IMPACT AND SAFETY REQUIREMENTS AND SHALL BE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE CALIFORNIA BUILDING CODE, LATEST EDITION. ALL GLASS SHALL BE SET ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- EACH UNIT OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE GLASS IS GLAZED.
- FURNISH, TAG AND DELIVER TO THE JOB SITE ALL FINISHED HARDWARE AS REQUIRED TOGETHER WITH ALL NECESSARY SCREWS, FITTINGS, TRIM, ETC. FOR A COMPLETE AND READY INSTALLATION. REVIEW FINISH HARDWARE WITH OWNER PRIOR TO ORDERING.
- GYPSUM DRYWALL MATERIAL & APPLICATION SHALL BE IN ACCORDANCE WITH THE "GYPSUM CONSTRUCTION HANDBOOK," LATEST EDITION AS PUBLISHED BY UNITED STATES GYPSUM & WITH THE UNIFORM BUILDING CODE, LATEST EDITION. GYPSUM WALLBOARD SHALL BE 1/2" THICK UNLESS OTHERWISE NOTED. TAPE AND FINISH ALL JOINTS AND NAIL HEADS. ALL GYPSUM DRYWALL SHALL BE FINISHED TO MATCH EXISTING.
- PROVIDE CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS AS A BASE FOR ALL WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS.
- ALL MILLWORK SHALL BE MANUFACTURED IN ACCORDANCE WITH THE STANDARDS IN THE LATEST EDITION OF THE "MANUAL OF MILLWORK" OF THE WOODWORK INSTITUTE OF CALIFORNIA (WIC). EXTERIOR TRIM SHALL MATCH EXISTING, AND RECEIVE A WATER REPELLANT PRESERVATIVE TREATMENT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. INSTALLATION OF MILLWORK SHALL CONFORM TO WIC CUSTOM GRADE STANDARDS.
- ALL INTERIOR PAINT SHALL BE LOW-V.O.C., BY BENJAMIN MOORE OR EQ.
- PAINT AND STAIN COLORS, MOULDINGS & FLOORING AS WELL AS ELECTRICAL, LIGHTING & PLUMBING FIXTURES TRIM SHALL BE SELECTED BY OWNER.
- PAINT WORK SHALL BE IN ACCORDANCE WITH THE BENJAMIN MOORE PAINTS "SPECIFICATIONS FOR ARCHITECT, ENGINEERS AND PAINTING CONTRACTORS," LATEST EDITION. ALL PRODUCTS SHALL BE THOSE OF BENJAMIN MOORE PAINTS, OR EQUIVALENT PRODUCTS. ALL COLORS SHALL BE AS SELECTED BY THE OWNER. PREPARE LARGE SAMPLES OF EACH COLOR FOR REVIEW BY THE OWNER BEFORE PROCEEDING WITH THE WORK. ALL EXTERIOR & INTERIOR SURFACES SHALL RECEIVE (1) QUAT PRIMER AND (2) COATS FINISH S DIRECTED BY THE OWNER. INTERIOR PAINT TO BE ROLLED-ON, NOT SPRAYED.
- USE LOW-V.O.C. CAULK AND CONSTRUCTION ADHESIVES FOR ALL ADHESIVES.
- KITCHEN COUNTERTOPS, BACKSPLASH AND SLABS AS WELL AS EDGE PROFILES AND COLOR SHALL BE SELECTED BY THE OWNER. FINISH SHALL BE POLISHED. SUBMIT SAMPLES TO THE OWNER FOR APPROVAL. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- FURNISH AND INSTALL FLOORING AS SELECTED BY THE OWNER INCLUDING FINISH. INSTALLATION OF FLOORING AND APPLICATION OF FINISH SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL INSTALL "ENERGY STAR" RESIDENTIAL APPLIANCES AS SELECTED BY OWNER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- PLUMBING FIXTURES SHALL BE AS SELECTED BY THE OWNER AND SHALL INCLUDE ALL FITTINGS, TRIM & ACCESSORIES REQUIRED FOR A COMPLETE & FINISHED INSTALLATION. SEE ADDITIONAL BATHROOM NOTES ON A2.2.
- PROVIDE SMOKE DETECTORS IN THE FOLLOWING AREAS (AS APPLICABLE): AT EACH STORY AND BASEMENT; WITHIN EACH BEDROOM AND CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA; IN EACH ROOM WHERE NON-BEDROOM CEILING HEIGHTS EXCEED THE HALL CEILING HEIGHT BY MORE THAN 2'-0". SMOKE DETECTOR ALARMS SHALL BE INSTALLED A MINIMUM OF 20 FEET HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE. SMOKE DETECTORS SHALL BE REQUIRED TO BE LISTED BY THE CALIFORNIA STATE FIRE MARSHALL AND SHALL BE POWERED BY 110V BUILDING WIRING WITH BATTERY BACKUP.
- CARBON MONOXIDE (CO) ALARMS SHALL BE INSTALLED ON THE CEILING OR WALL IN EACH AREA/HALLWAY ADJACENT TO SLEEPING ROOMS. CARBON MONOXIDE DETECTORS SHALL BE REQUIRED TO BE LISTED BY THE CALIFORNIA STATE FIRE MARSHALL AND SHALL BE POWERED BY 110V BUILDING WIRING WITH BATTERY BACKUP. REFER TO ELECTRICAL PLAN, E.1.
- INSTALLATION OF WIRING, ELECTRICAL DEVICES & LIGHTING FIXTURES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS & SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION.
- CONFIRM LOCATION OF ALL HEATING OUTLETS, ELECTRICAL RECEPTACLES & SWITCHES WITH OWNER PRIOR TO INSTALLATION.
- FURNISH AND INSTALL FLOORING AS SELECTED BY THE OWNER INCLUDING FINISH. INSTALLATION OF FLOORING AND APPLICATION OF FINISH SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- PLUMBING FIXTURES SHALL BE AS SELECTED BY THE OWNER AND SHALL INCLUDE ALL FITTINGS, TRIM & ACCESSORIES REQUIRED FOR A COMPLETE & FINISHED INSTALLATION. SEE ADDITIONAL BATHROOM NOTES ON A2.2.
- PROVIDE DUCTING TO THE EXTERIOR FROM ALL BATHROOM EXHAUST. SEE ADDITIONAL NOTES ON A2.2.
- A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION & DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CGC 4.408. CONTRACTOR SHALL COMPLETE AND SUBMIT THE "CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT AGREEMENT" FORM PRIOR TO PULLING THE PERMIT. CONTACT GREEN HALO RECYCLING SPECIALIST WITH ANY QUESTIONS.
- WRB: WATER RESISTIVE BARRIER = 2 LAYERS SUPER JUMBO TEX, 60 MINUTE BUILDING PAPER, OR EQUAL. USE UNDER ALL EXTERIOR WALL CLADDINGS. PROVIDE 4 IN. HORIZONTAL LAPS, 12 IN. END LAPS MINIMUM. SEAL PENETRATIONS WATERTIGHT. REPAIR DAMAGES, TEARS, AND WATER PATHS TO PREVENT WATER INTRUSION BEFORE CONCRETEMENT.
- SAF = SELF-ADHERED FLASHING. COVER SAF MATERIALS INSTALLED UNDER CEMENT PLASTER WITH 1 LAYER WRB MATERIAL TO PREVENT DIRECT CONTACT WITH CEMENT PLASTER.
- SAF1 = 40-MIL WGOR V-40 (SBS RUBBER) OR EQUAL. USE UNDER TRIM, STANDARD DETAILING.
- SAF2 = 25-MIL ALUMINUM FLASHING (SBS RUBBER) OR EQUAL. USE AT WINDOWS/DOORS TO SEAL AGAINST.
- SAF3 = 30-MIL GRACE ULTRA (BUTYL RUBBER) OR EQUAL. USE AT HIGH-HEAT LOCATIONS, UNDER SHEET METAL EXPOSED TO SUN, UNDER RED ROSIN PAPER ISOLATION SHEET.
- WINDOW/DOOR SILL PANS AND HEAD FLASHINGS: PROVIDE WINDOWS/DOORS WITH WATERTIGHT SOLDERED SHEET METAL SILL PANS WITH REAR VERTICAL LEG, END DAMS, 4 IN. HIGH FLANGES, AND HEAD FLASHINGS WITH SOLDERED END CAPS AND 4 IN. HIGH FLANGES OUT ONTO WALL SURFACE FOR INTEGRATING WITH WRB AND WATERPROOFING SYSTEMS. PROVIDE SAF WRAPPING INTO FULL PERIMETER OF ROUGH OPENING UNDER WINDOW/DOOR SILL PANS AND ATTACHMENT FINIS. LAPPING JAMB SAF OVER END DAMS OF SILL PANS.
- PROVIDE SAF OVER WRB, AT ALL INSIDE/OUTSIDE EXTERIOR WALL CORNERS, SOFFIT EDGES, UNDER STUCCO CONTROL JOINTS, OVER WEEP SCREEDS, AND UNDER SHEET METAL FLASHINGS.
- PER CRC SECTION 313.3.7, AN OWNER'S MANUAL FOR THE FIRE SPRINKLER SYSTEM SHALL BE PROVIDED TO THE OWNER. A SIGN OF VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING "WARNING: THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN."
- UPON REQUEST, VERIFICATION OF COMPLIANCE WITH 2016 CALIFORNIA GREEN BUILDING CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DEPARTMENT WHICH WILL SHOW SUBSTANTIAL CONFORMANCE. AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER CGC 4.410.1.
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT SHALL BE CHECKED PRIOR TO FINISH MATERIAL BEING APPLIED PER CGC 4.504.3.
- RODENT PROOFING: ANNUAL SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE RODENT PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY PER CGC 4.406.1.
- A CAPILLARY BREAK SHALL BE INSTALLED AS A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED PER CGC 4.505.2 AND CRC R506.2.3.

PERSPECTIVE VIEW



ANNOTATIONS

@	AT	HORIZ	HORIZONTAL
CL	CENTERLINE	HVAC	HEATING, VENTILATING
#	POUND OR NUMBER	MAX	AIR CONDITIONING
A.B.	ANCHOR BOLT	INSUL	INSULATION
A.D.	AREA DRAIN	MEMB	MEMBRANE
A.F.F.	ABOVE FINISH FLOOR	MET/MTL	METAL
A.F.C.I.	ARC FAULT CIRCUIT INTERRUPT	MFR	MANUFACTURER
ALUM	ALUMINUM	MIN	MINIMUM
ANOD	ANODIZED	(N)	NEW
APPROX	APPROXIMATE	N.T.S.	NOT TO SCALE
ARCH	ARCHITECTURAL	O	OVER
BD	BOARD	O.C.	ON CENTER
CLR	CLEAR	PLYWD	PLYWOOD
CONC	CONCRETE	CTR	CENTER
CONSTR	CONSTRUCTION	DBL	DOUBLE
CTR	CENTER	DEMO	DEMOLISH
DBL	DOUBLE	DIM	DIMENSION
DEMO	DEMOLISH	DN	DOWN
DWG	DRAWING	D.S.	DOWNSPOUT
(E)EXIST	EXISTING	DWG	DRAWING
ELEC	ELECTRICAL	EQ	EQUAL
ELEV	ELEVATOR OR ELEVATION	EQ	EQUAL
EQ	EQUAL	F.A.R.	FLOOR AREA RATIO
EXT	EXTERIOR	F.B.O.	FURNISHED BY OWNER/OTHER
F.A.R.	FLOOR AREA RATIO	FL	FLOOR
F.O.C.	FACE OF CONCRETE	F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH	F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STUD	F.O.S.	FACE OF STUD
FT	FOOT OR FEET	GA	GAUGE
GA	GAUGE	GALV	GALVANIZED
GALV	GALVANIZED	GFI	GROUND FAULT INTERRUPTOR
GFI	GROUND FAULT INTERRUPTOR	GSM	GALVANIZED SHEET METAL
GSM	GALVANIZED SHEET METAL	GYP	GYPSUM
GYP	GYPSUM	H.C.	HOLLOW CORE
H.C.	HOLLOW CORE	HDWD	HARDWOOD
HDWD	HARDWOOD		

SHEET INDEX

ARCHITECTURE	
A0.0	PROJECT DATA, VICINITY MAP, GENERAL NOTES, SHEET INDEX
A0.1	AREA PLANS, DOOR & WINDOW SCHEDULES, MECH. NOTES, VENT CALCS
A1.0	EXISTING & PROPOSED SITE PLAN
A2.0	EXISTING / DEMO FLOOR PLANS, DEMO NOTES
A2.1	PROPOSED FLOOR PLANS
A2.2	PROPOSED ROOF PLANS
A3.0	EXISTING HOUSE ELEVATIONS, PROPOSED DETACHED GARAGE ELEVATIONS, GARAGE SECTIONS
A3.1	PROPOSED HOUSE EXTERIOR ELEVATIONS, MATERIAL SPECIFICATIONS
A3.2	PERSPECTIVE VIEWS
A3.3	DEMONSTRATION OF SCALE
A4.0	BUILDING SECTIONS
SURVEYOR	
SU-1	BOUNDARY & TOPOGRAPHIC SURVEY

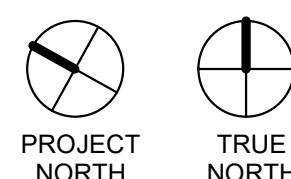
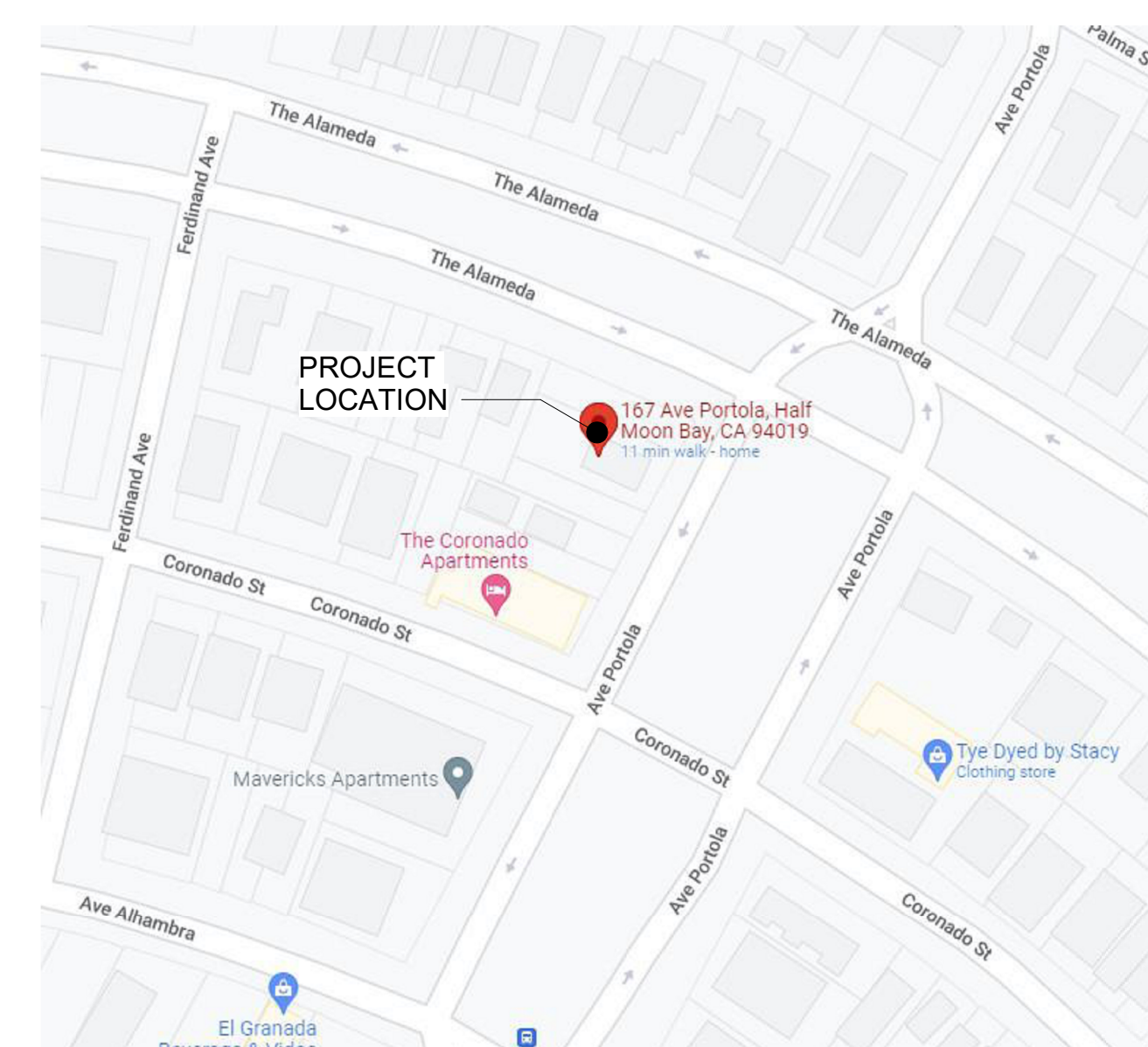
PROJECT DATA

APN:	047-208-110
ZONING:	R-3/S-3/DR/CD
APPLICABLE CODES:	2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA FIRE CODE ALL OTHER STATE AND LOCAL ORDINANCES AND REGULATIONS ADOPTED BY SAN MATEO COUNTY.
CONSTRUCTION TYPE:	VB
OCCUPANCY:	R-3 (MAIN RESIDENCE) / U-1 (GARAGE)
LOT AREA:	5,729.21 SF
AREA SUMMARY (REFER TO AREA PLANS, A0.1):	
EXISTING AREA:	700.94 SF
PROPOSED GARAGE AREA:	654.57 SF
PROPOSED 1ST FLOOR ADDITION:	433.60 SF
PROPOSED 2ND FLOOR ADDITION:	756.24 SF
TOTAL PROPOSED FLOOR AREA:	2,547.35 SF (NO FLOOR AREA LIMITATION IN S-3 ZONING)
MAX LOT COVERAGE (60%):	2,864.61 SF
PROPOSED LOT COVERAGE:	1,948.01 SF (SEE AREA PLANS & CALCULATIONS, A0.1)
REQUIRED FRONT SETBACK:	20'
REQUIRED REAR SETBACK:	20'
REQUIRED SIDE SETBACK:	5'
MAX HEIGHT:	36 FEET / 3 STORIES
PROJECT SCOPE:	ADDITIONS & RENOVATIONS TO EXISTING SINGLE STORY HOME: ADDITION TO FIRST FLOOR, NEW SECOND FLOOR, NEW DETACHED 2 CAR GARAGE WITH HALF BATHROOM AND OUTDOOR SHOWER, MINIMAL GRADING FOR FOUNDATIONS, AND NO TREE REMOVAL IS REQUIRED.
FIRE SPRINKLERS:	PER SECTION 9105, SECTION 903.6.1(C)5, A NFPA-13D AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE REQUIRED UNDER A SEPARATE PERMIT DUE TO THE ADDITION OF A SECOND STORY WHEN ONE DID NOT PREVIOUSLY EXIST.

CONSTRUCTION HOURS

NOISE SOURCES ASSOCIATED WITH DEMOLITION, CONSTRUCTION, REPAIR, REMODELING, OR GRADING OF ANY REAL PROPERTY, PROVIDED SAID ACTIVITIES DO NOT TAKE PLACE BETWEEN THE HOURS OF 6:00 P.M. AND 7:00 A.M. WEEKDAYS, 5:00 P.M. AND 9:00 A.M. ON SATURDAYS OR AT ANY TIME ON SUNDAYS, THANKSGIVING AND CHRISTMAS.

VICINITY MAP

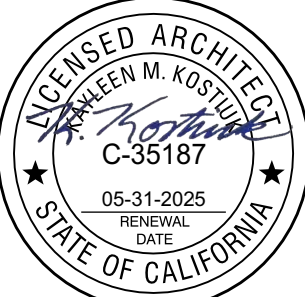


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EL GRANADA CA 94018

REVISIONS

NO.	DESCRIPTION	DATE
2	DEMONSTRATION OF SCALE CONTEXT	7/26/2024

PROJECT NUMBER: 22111
ISSUE DATE: 05/03/2024
SCALE: As indicated
ISSUE STATUS:

CDR APPLICATION

PROJECT DATA,
VICINITY MAP,
GENERAL NOTES,
SHEET INDEX

A0.0

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REVISIONS

NO.	DESCRIPTION	DATE
1	CDRC RESPONSE TO COMMENTS	6/24/2024
2	DEMONSTRATION OF SCALE CONTEXT	7/26/2024

PROJECT NUMBER: 22111
 ISSUE DATE: 05/03/2024
 SCALE: As indicated
 ISSUE STATUS:
CDRC APPLICATION

**EXISTING / DEMO
 FLOOR PLANS, DEMO
 NOTES**

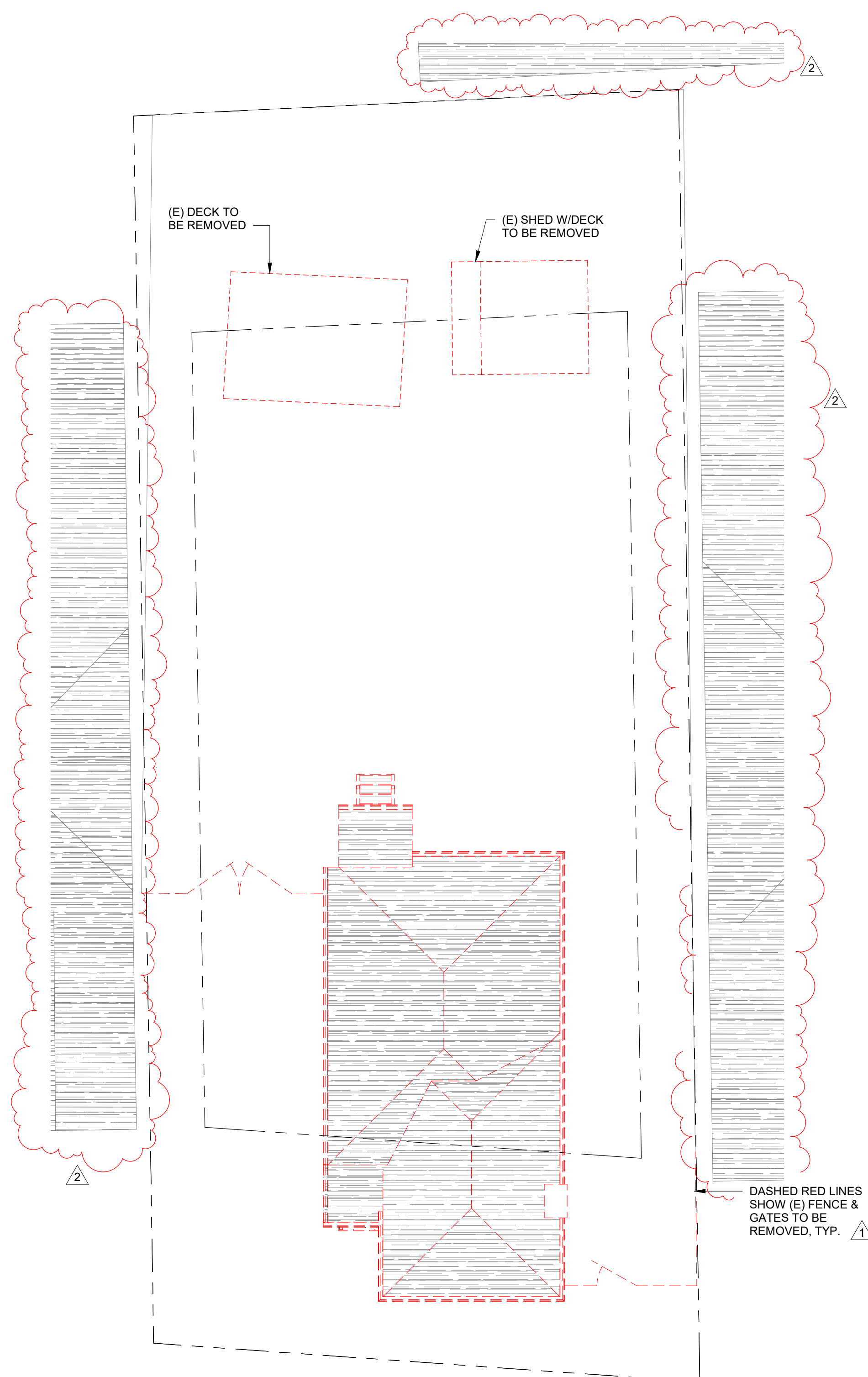
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GENERAL DEMO NOTES

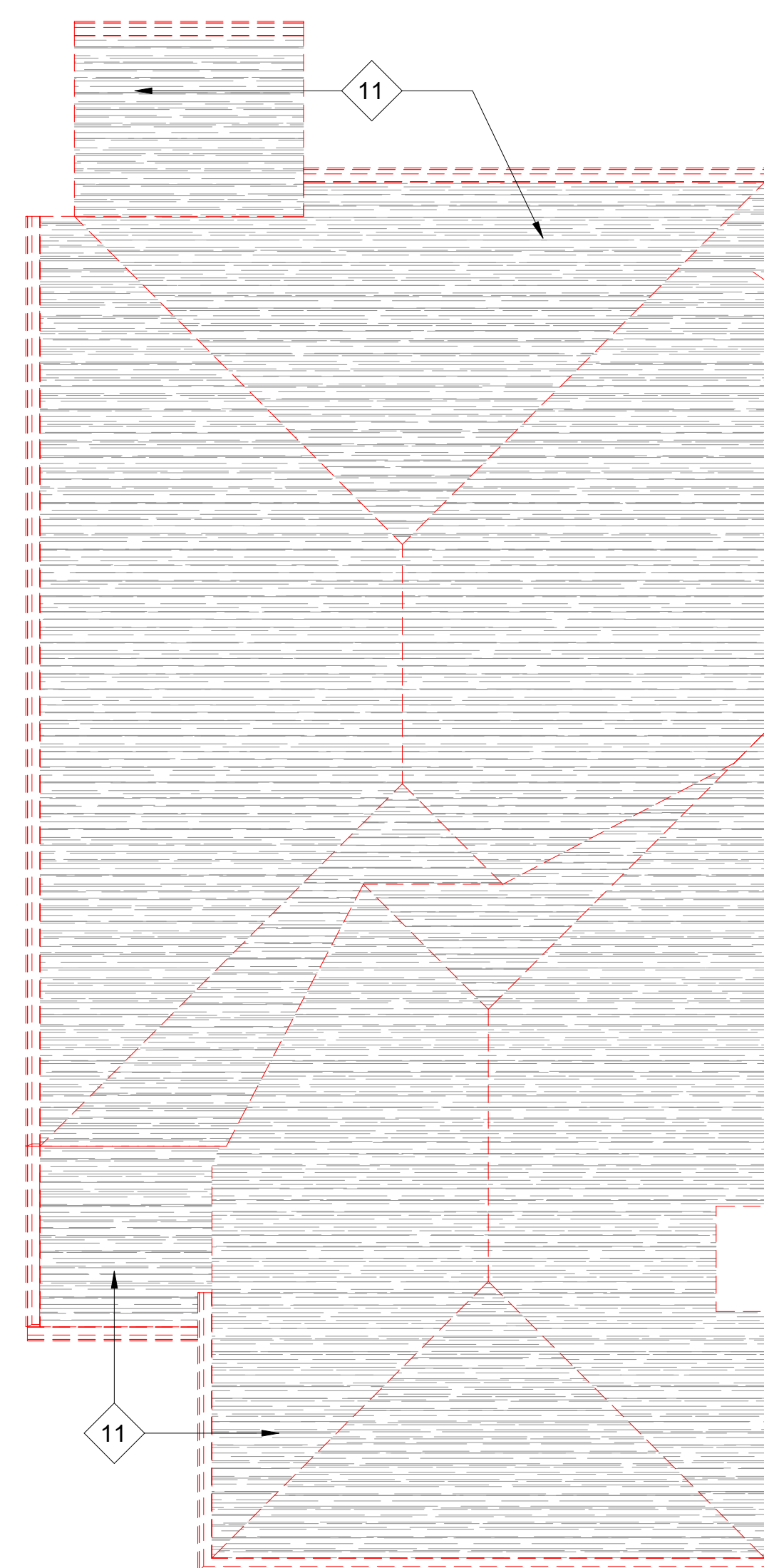
- THE DRAWINGS DO NOT ASSUME TO SHOW ALL OBJECTS EXISTING. BEFORE COMMENCING WORK, VERIFY WITH OWNER OR ARCHITECT IN WRITING ALL OBJECTS TO BE REMOVED AND ALL OBJECTS TO BE PRESERVED. CONTRACTOR IS RESPONSIBLE FOR ALL SALVAGE ITEMS. USE ALL MEANS NECESSARY TO PROTECT EXISTING OBJECTS DESIGNATED TO REMAIN AND, IN THE EVENT OF DAMAGE, IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENTS NECESSARY TO THE APPROVAL OF THE OWNER.
- DEMOLITION OF AN ITEM OR SYSTEM INCLUDES REMOVAL OF ALL COMPONENTS RELATED TO THAT ITEM. (I.E. REMOVAL OF DOOR INCLUDES DOOR, DOORFRAME, SILL, HARDWARE, ETC.)
- ALL DEBRIS SHALL BE WET AT TIME OF HANDLING TO PREVENT DUST.
- CONTRACTOR SHALL PREPARE AND SUBMIT A "CONSTRUCTION AND DEMOLITION RECYCLING WASTE REDUCTION PLAN" PRIOR TO DEMOLITION. A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CGG 4.408. THE EXISTING NONCONFORMING WALL CANNOT BE DEMOLISHED PAST THE FRAMING MEMBERS. IF THE WALL IS DEMOLISHED AS PART OF THE PROJECT, IT CANNOT BE REBUILT IN ITS CURRENT NONCONFORMING LOCATION, AND WILL BE REQUIRED TO MEET THE CURRENT ZONING ORDINANCE SETBACK REQUIREMENTS.

SPECIFIC DEMO NOTES

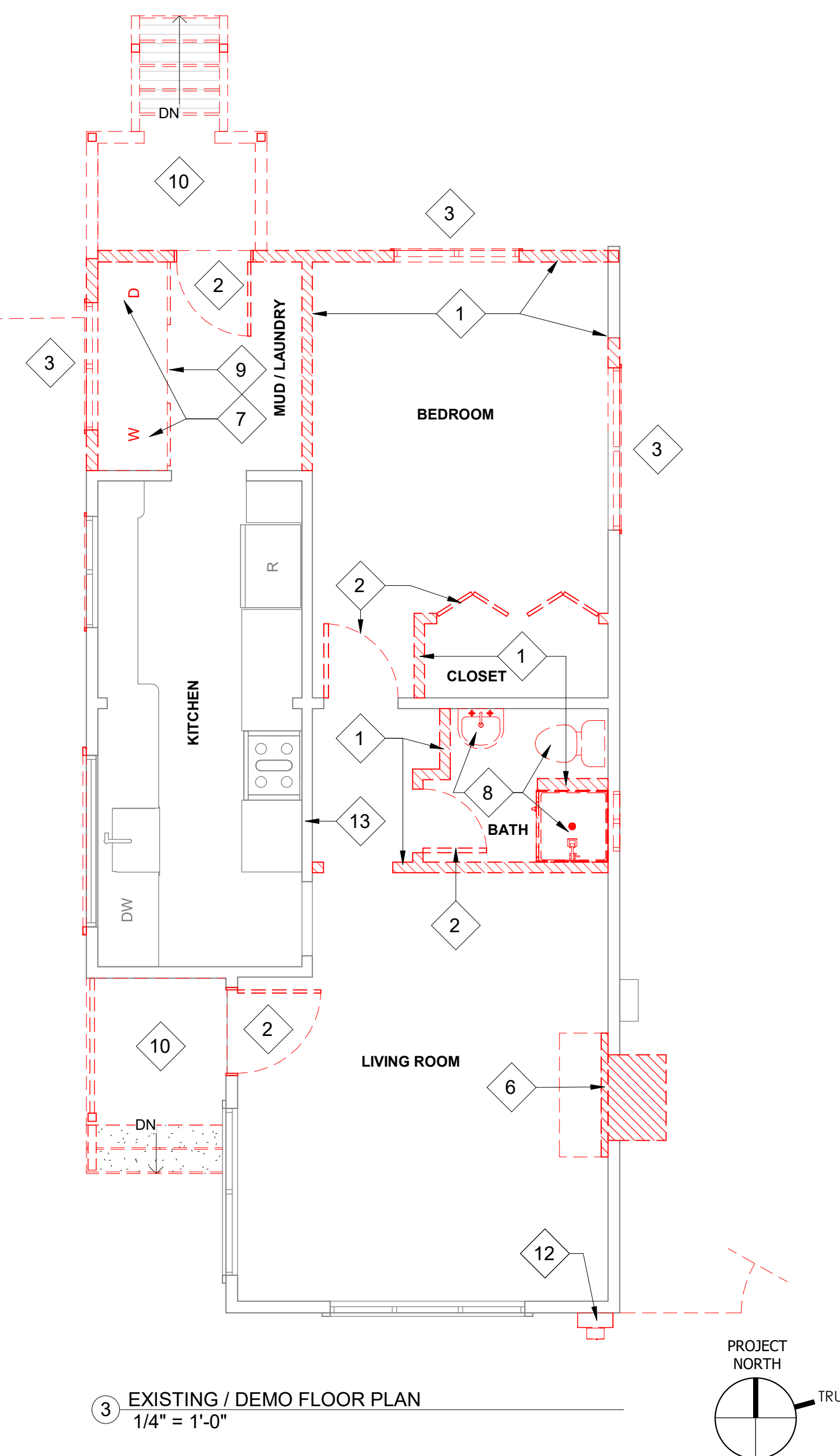
- | | |
|---|--|
| 1 REMOVE (E) WALL. | 7 REMOVE (E) APPLIANCE - CONSULT OWNER IF APPLIANCE TO BE SALVAGED |
| 2 REMOVE (E) DOOR. | 8 REMOVE (E) PLUMBING FIXTURE. |
| 3 REMOVE (E) WINDOW. | 9 REMOVE (E) CASEWORK & COUNTER |
| 4 REMOVE (E) CASED OPENING | 10 REMOVE (E) PORCH, STEPS & RAILING. |
| 5 REMOVE (E) FLOORING AS SPECIFIED BY OWNER, TYP. | 11 REMOVE (E) ROOF, ROOF EAVE & GUTTER. |
| 6 REMOVE (E) FIREPLACE, HEARTH, MANTLE & CHIMNEY. | 12 RELOCATE (E) ELEC METER - CONTRACTOR TO COORDINATE WITH PG&E. |
| | 13 REMOVE (E) WALL HEATER. |



④ EXISTING / DEMO SITE PLAN
 1/8" = 1'-0"



② EXISTING / DEMO ROOF PLAN
 1/4" = 1'-0"



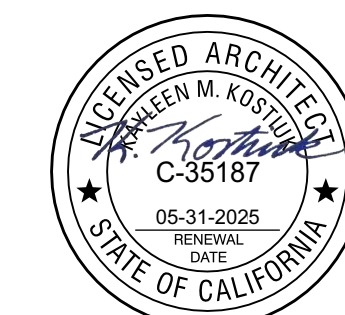
③ EXISTING / DEMO FLOOR PLAN
 1/4" = 1'-0"

PROJECT DIRECTORY

ARCHITECT
FAT PEN STUDIOS, INC.
 620 AVENUE PORTOLA #522
 EL GRANADA, CA 94018
 650-918-7117
 info@fatpenstudios.com

OWNER
RILEY & KRISTIN BRADLEY
 167 AVENUE PORTOLA
 EL GRANADA, CA 94018
 978-766-0957
 Kristin.meador@gmail.com
 Lion.RWC@gmail.com

CIVIL / GEOTECH ENGINEER
SIGMA PRIME GEOSCIENCES
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 650-728-3590
 sigmaprime@gmail.com



**AVENUE
 PORTOLA
 RESIDENCE**
 167 AVENUE PORTOLA,
 EL GRANADA CA 94018

REVISIONS

NO.	DESCRIPTION	DATE
1	CDRC RESPONSE TO COMMENTS	6/24/2024

PROJECT NUMBER: 22111
 ISSUE DATE: 05/03/2024
 SCALE: 1/4" = 1'-0"
 ISSUE STATUS:
CDRC APPLICATION

**EXISTING HOUSE
 ELEVATIONS,
 PROPOSED DETACHED
 GARAGE ELEVATIONS,
 GARAGE SECTIONS**

A3.0



4 EXISTING RIGHT SIDE ELEVATION
 1/4" = 1'-0"



3 EXISTING REAR ELEVATION
 1/4" = 1'-0"



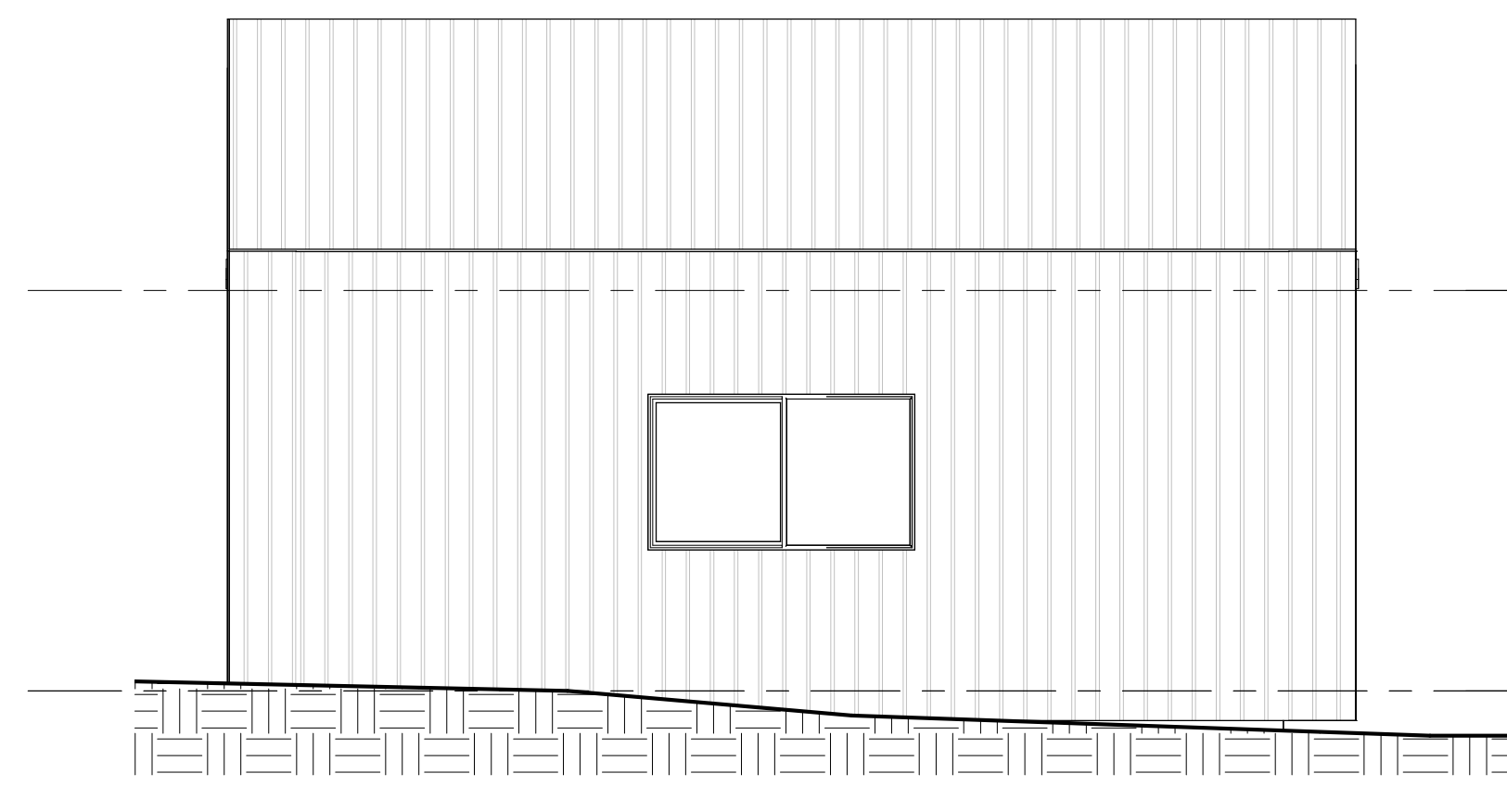
2 EXISTING LEFT SIDE ELEVATION
 1/4" = 1'-0"



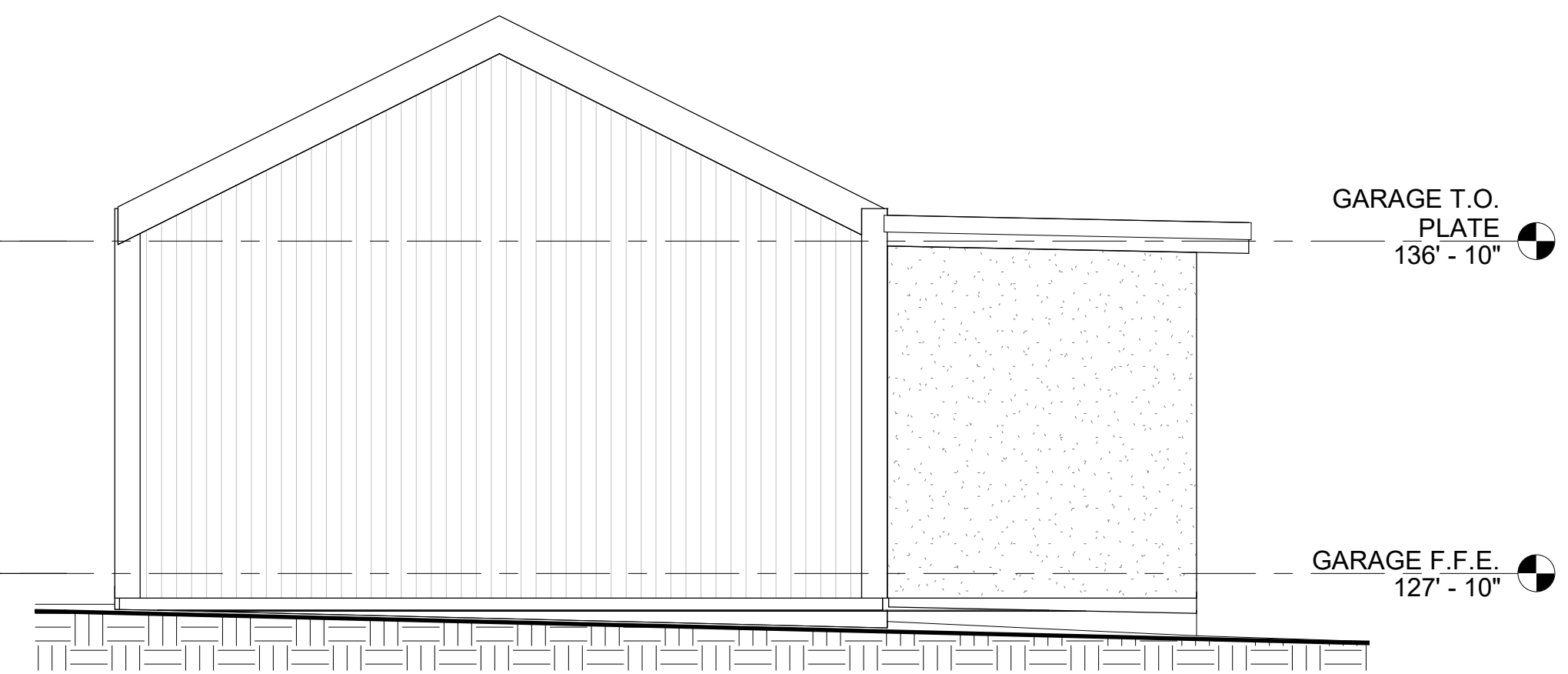
1 EXISTING FRONT ELEVATION
 1/4" = 1'-0"



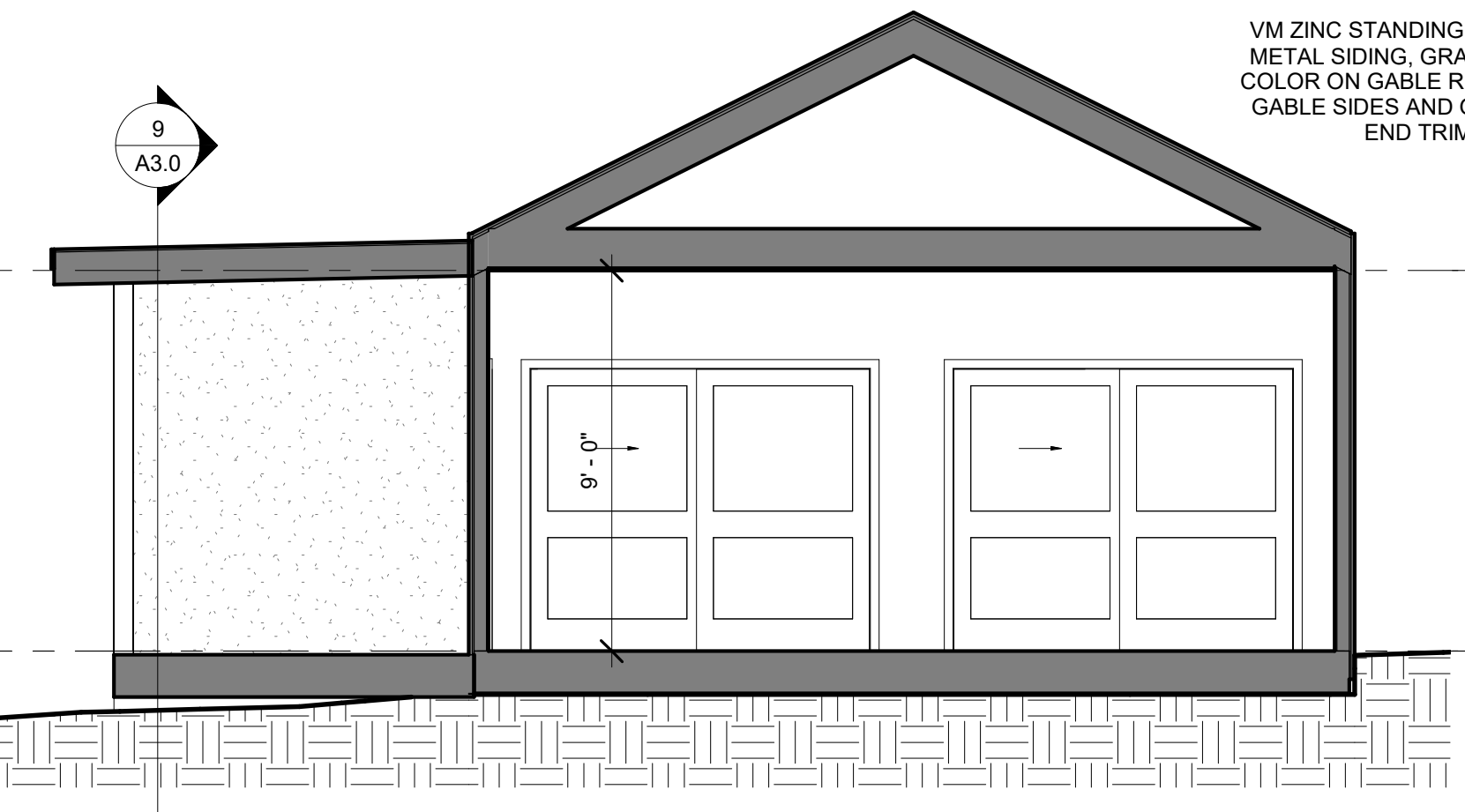
9 GARAGE - CROSS SECTION
 1/4" = 1'-0"



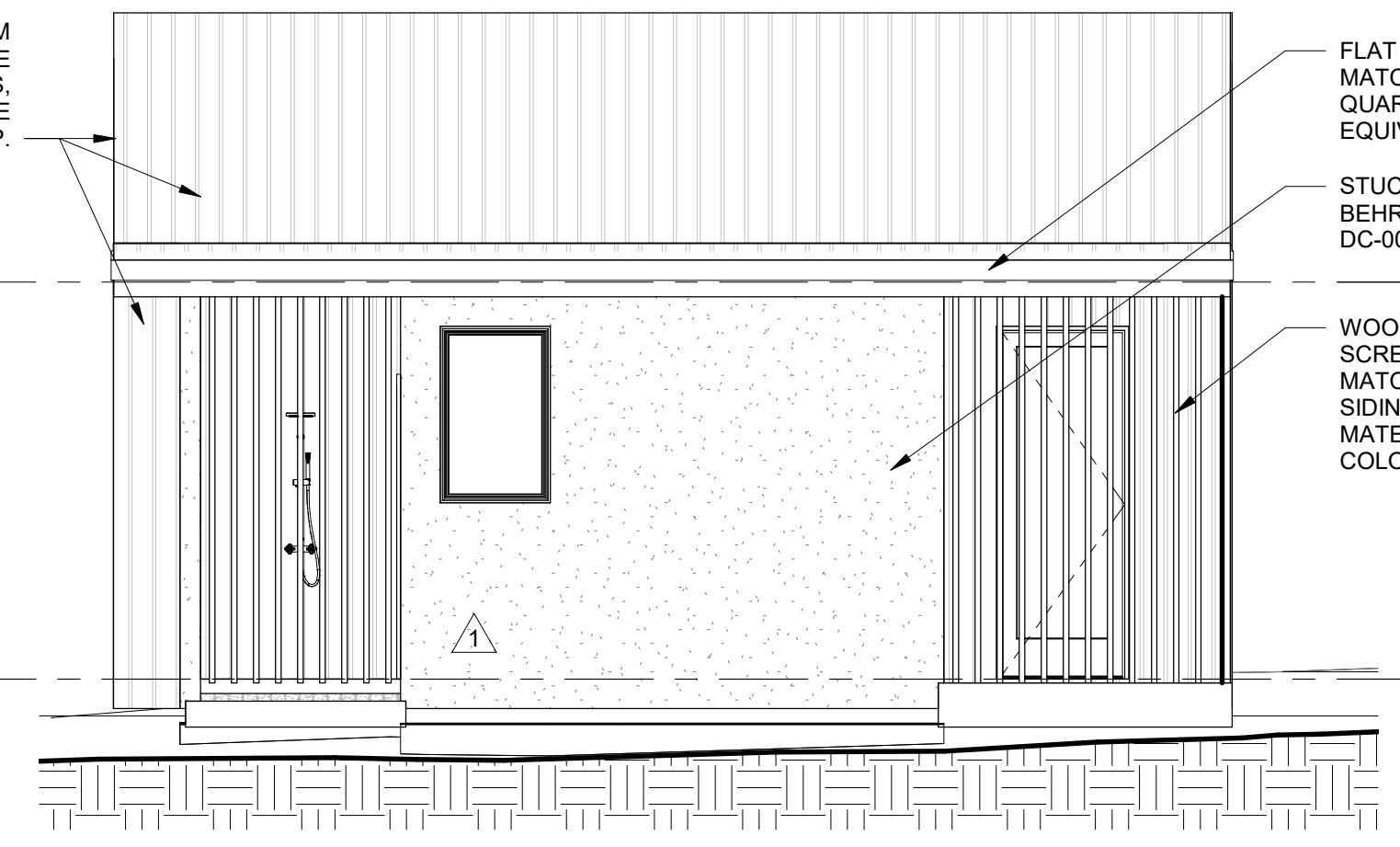
8 PROPOSED GARAGE RIGHT SIDE ELEVATION
 1/4" = 1'-0"



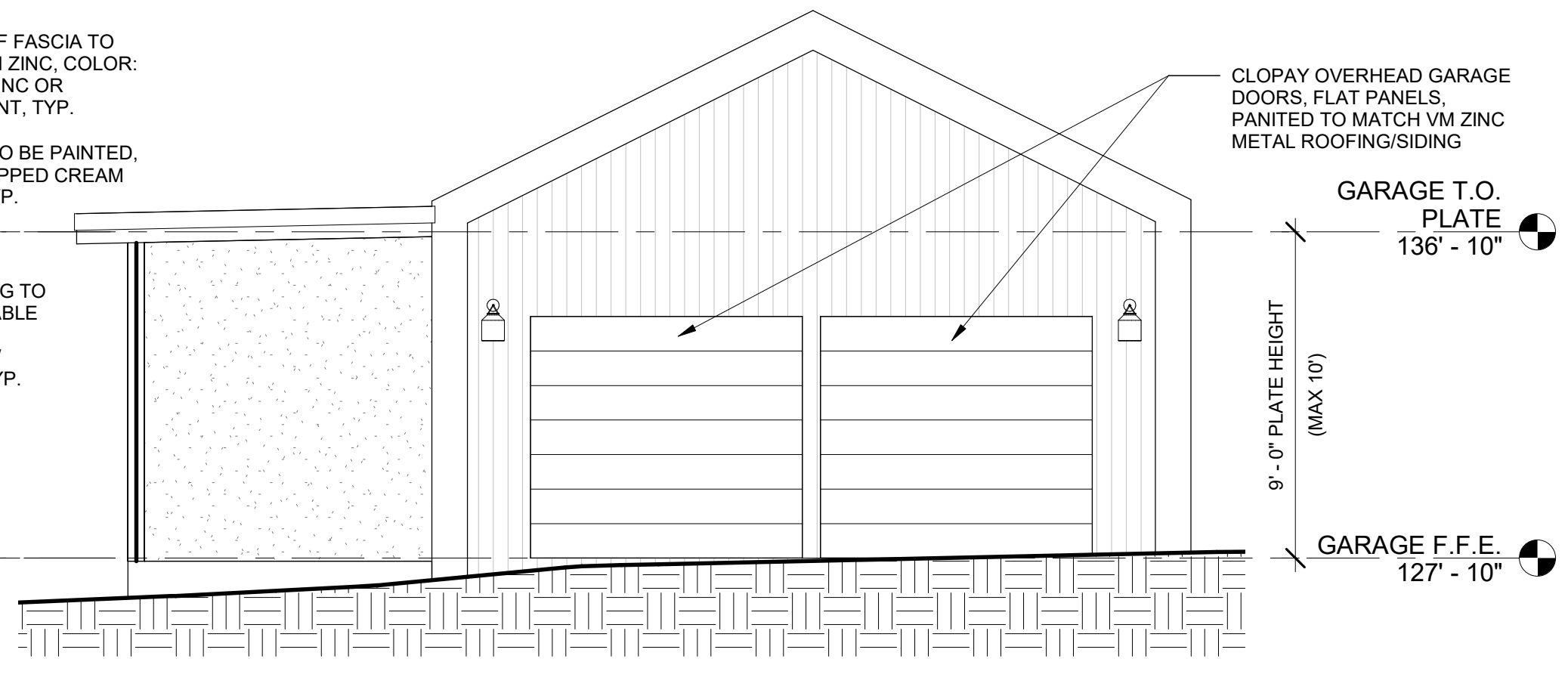
7 PROPOSED GARAGE REAR ELEVATION
 1/4" = 1'-0"



10 GARAGE - LONGITUDINAL SECTION 1
 1/4" = 1'-0"



6 PROPOSED GARAGE LEFT SIDE ELEVATION
 1/4" = 1'-0"



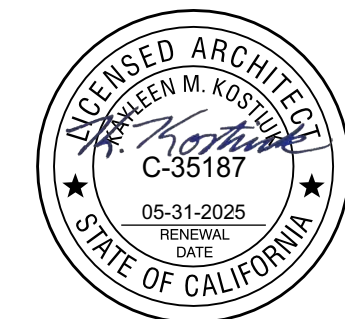
5 PROPOSED GARAGE FRONT ELEVATION
 1/4" = 1'-0"

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**AVENUE
 PORTOLA
 RESIDENCE**
 167 AVENUE PORTOLA,
 EL GRANADA CA 94018

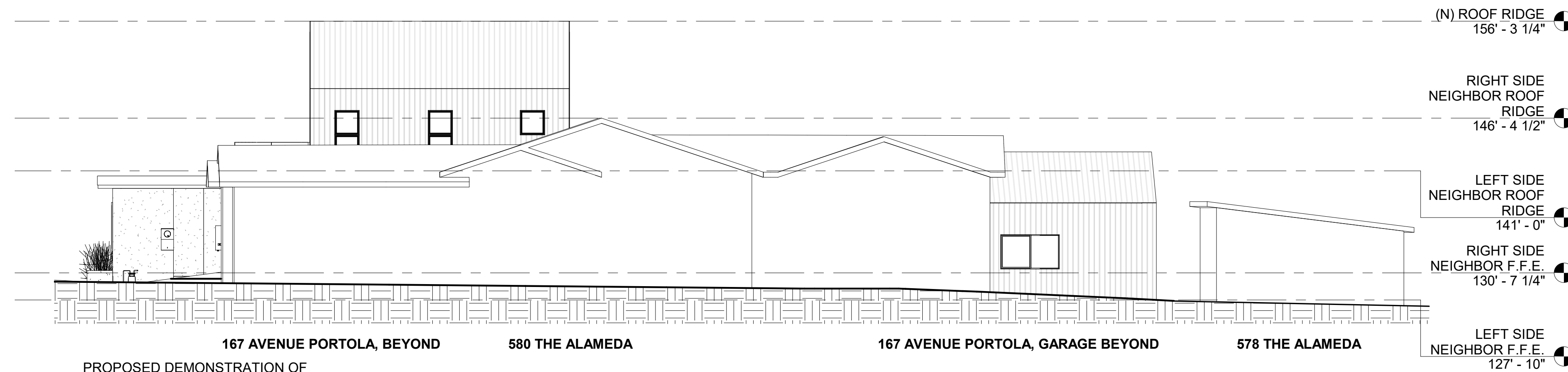
REVISIONS

NO.	DESCRIPTION	DATE
2	DEMONSTRATION OF SCALE CONTEXT	7/26/2024

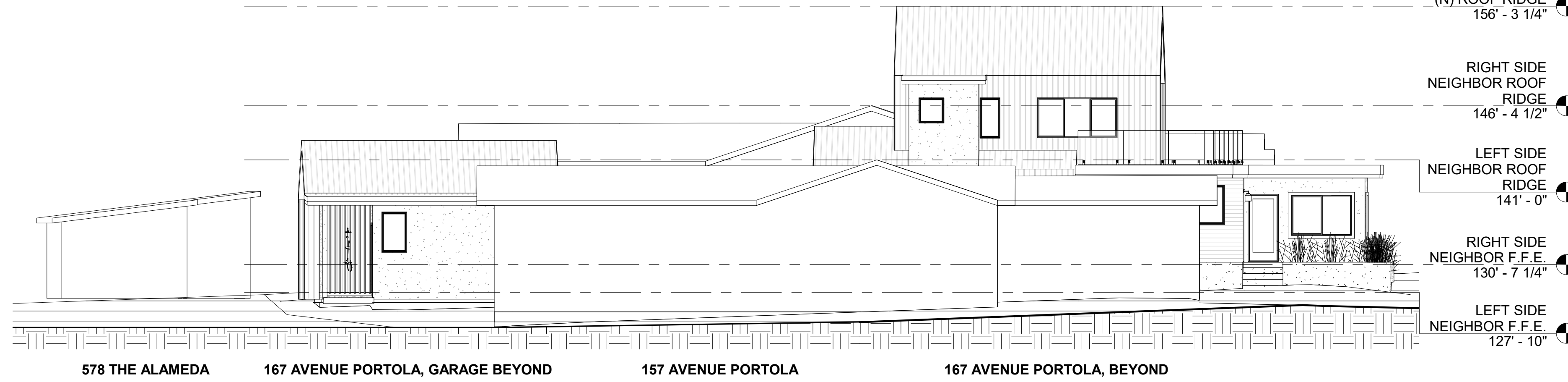
PROJECT NUMBER: 22111
 ISSUE DATE: 05/03/2024
 SCALE: 1/8" = 1'-0"
 ISSUE STATUS:
CDRC APPLICATION

**DEMONSTRATION OF
 SCALE**

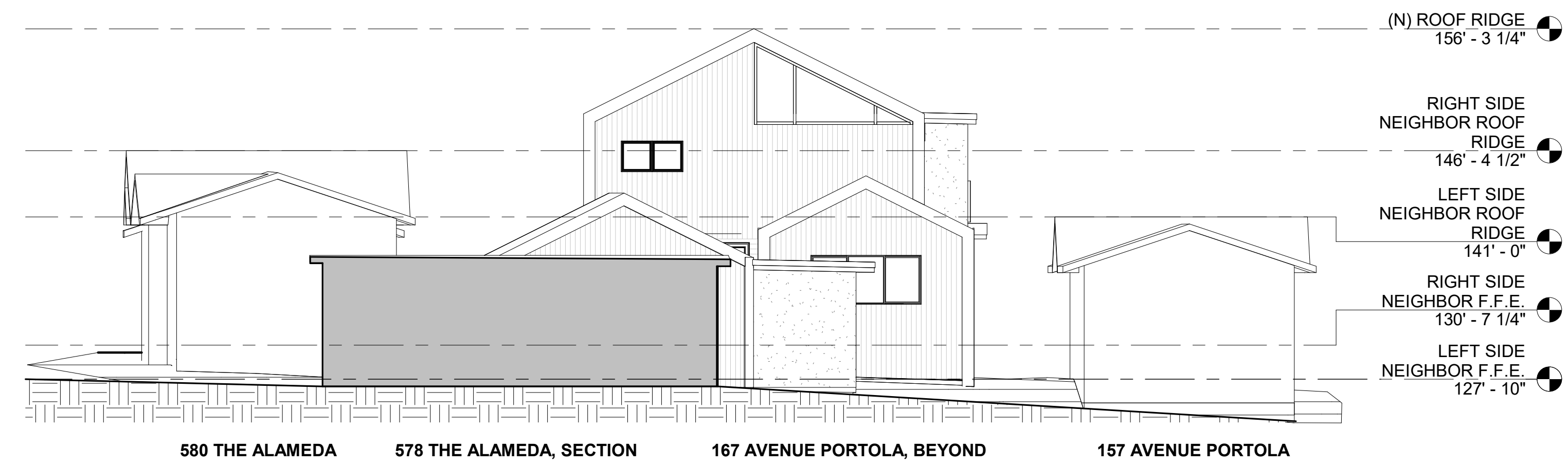
A3.3



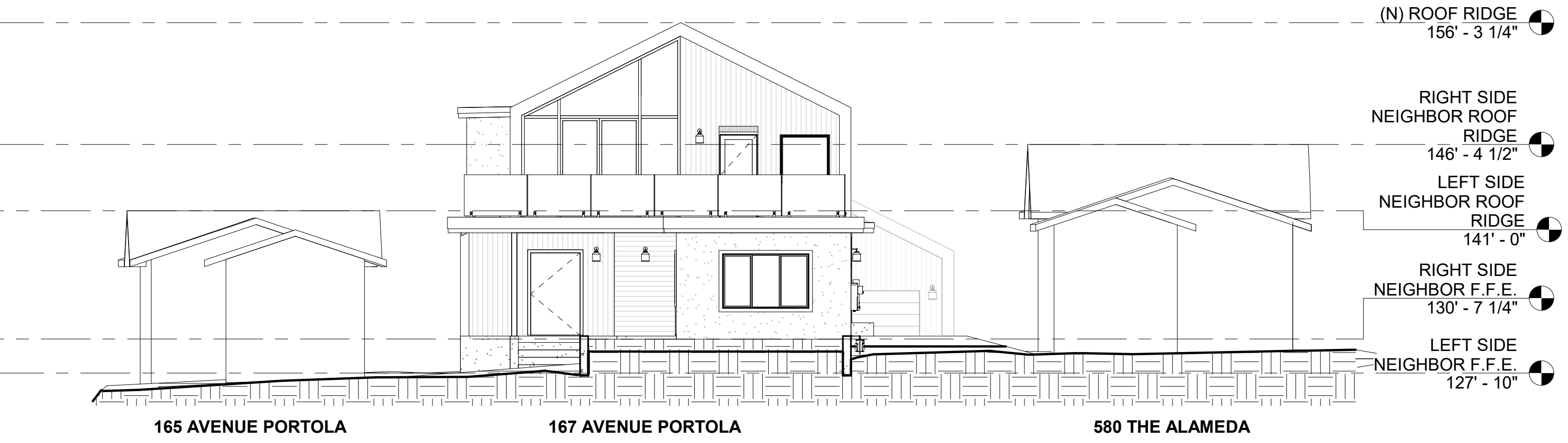
04 PROPOSED DEMONSTRATION OF SCALE - THE ALAMEDA
 1/8" = 1'-0"



03 PROPOSED DEMONSTRATION OF SCALE - LEFT SIDE ELEVATION
 1/8" = 1'-0"



02 PROPOSED DEMONSTRATION OF SCALE - REAR ELEVATION
 1/8" = 1'-0"



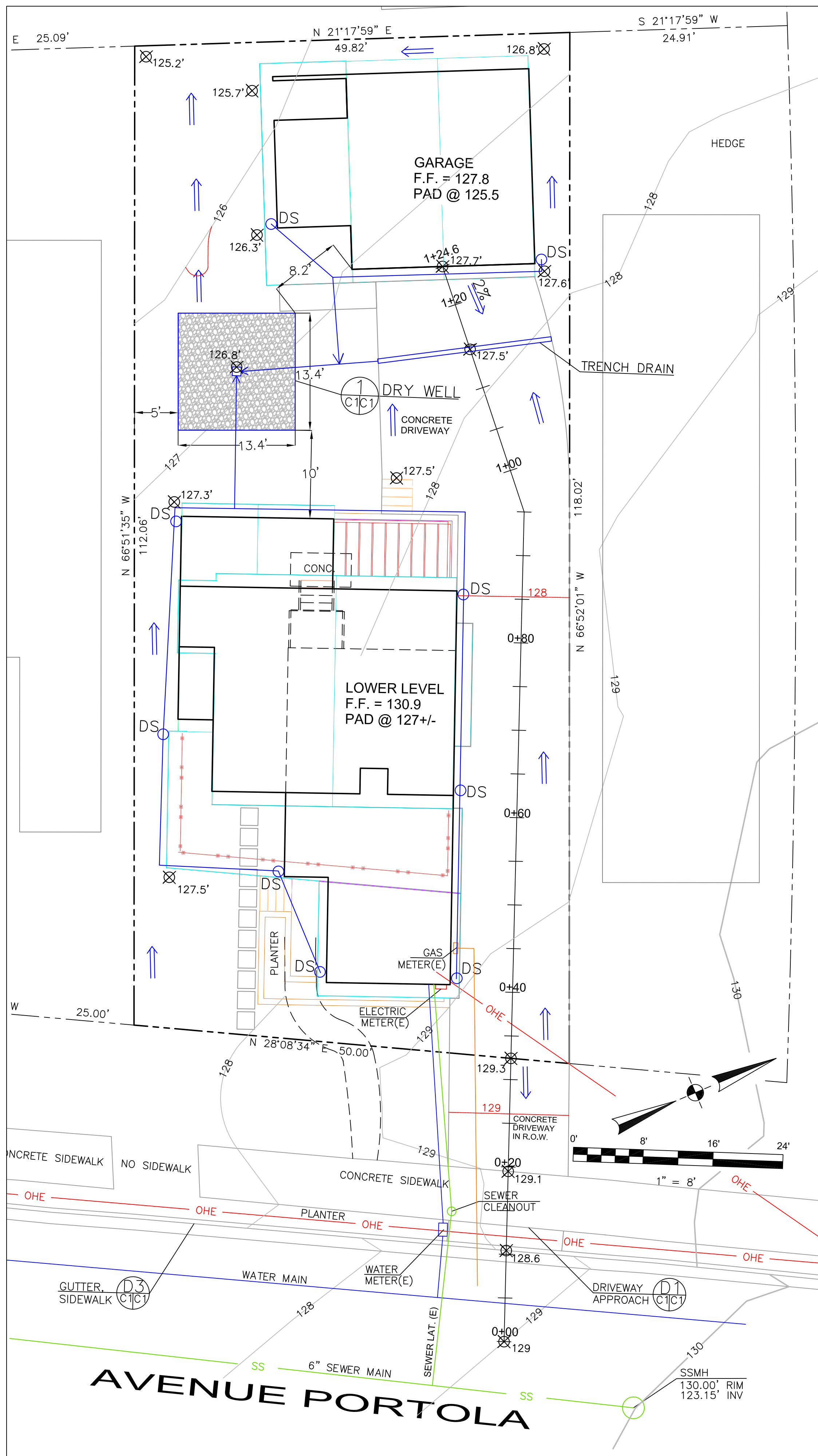
01 PROPOSED DEMONSTRATION OF SCALE - AVENUE PORTOLA
 1/8" = 1'-0"



6 THE ALAMEDA PERSPECTIVE - PROPOSED



5 THE ALAMEDA PERSPECTIVE - EXISTING



- LEGEND**
- EXISTING CONTOURS
 - DS DOWNSPOUT
 - 4" SOLID DRAIN PIPE
 - DIRECTION OF SURFACE DRAINAGE
 - 127.6' PROPOSED SPOT ELEVATION

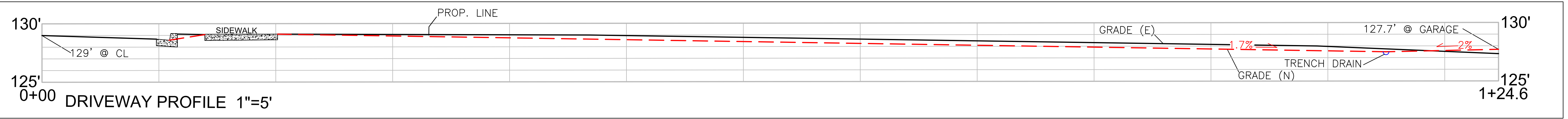
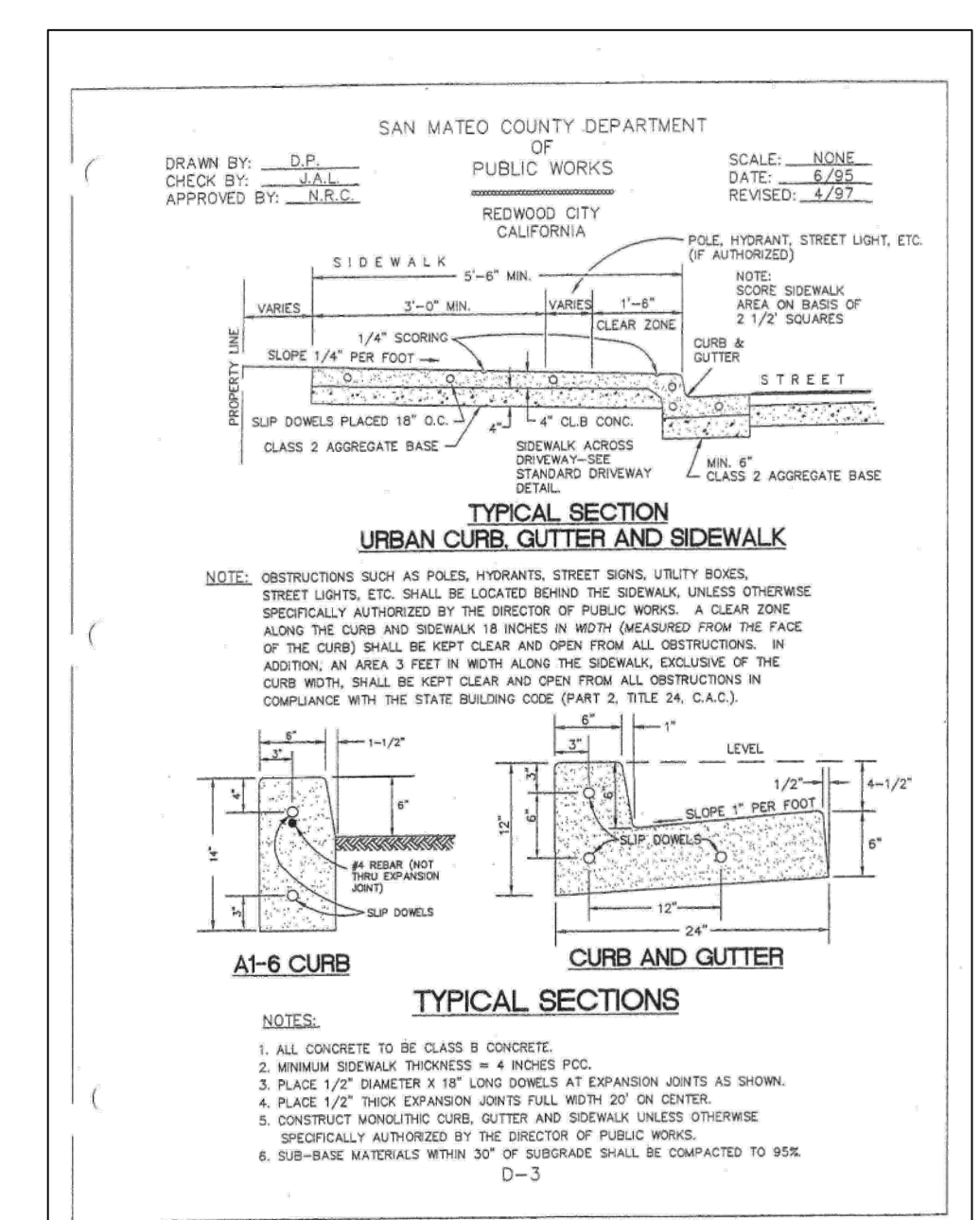
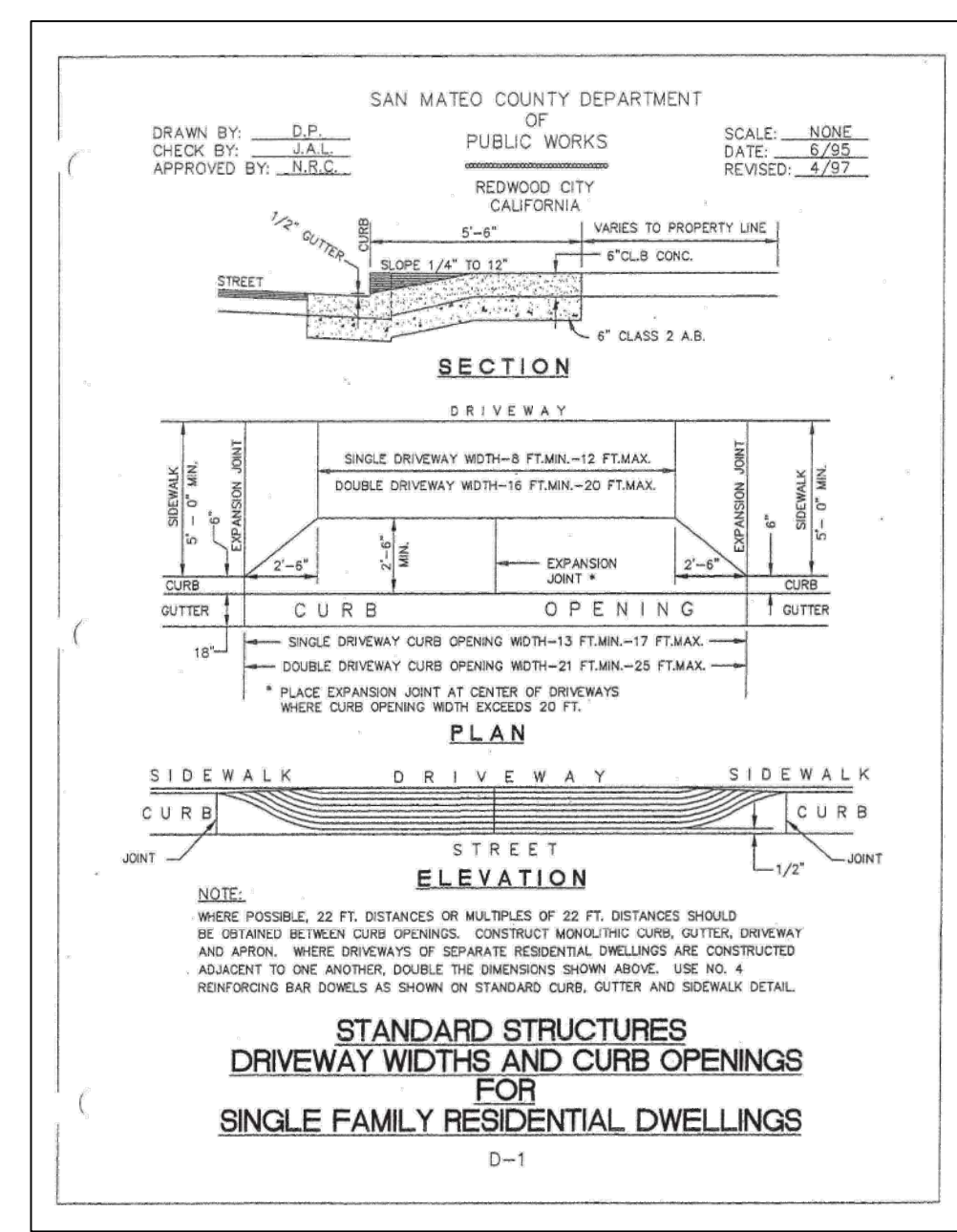
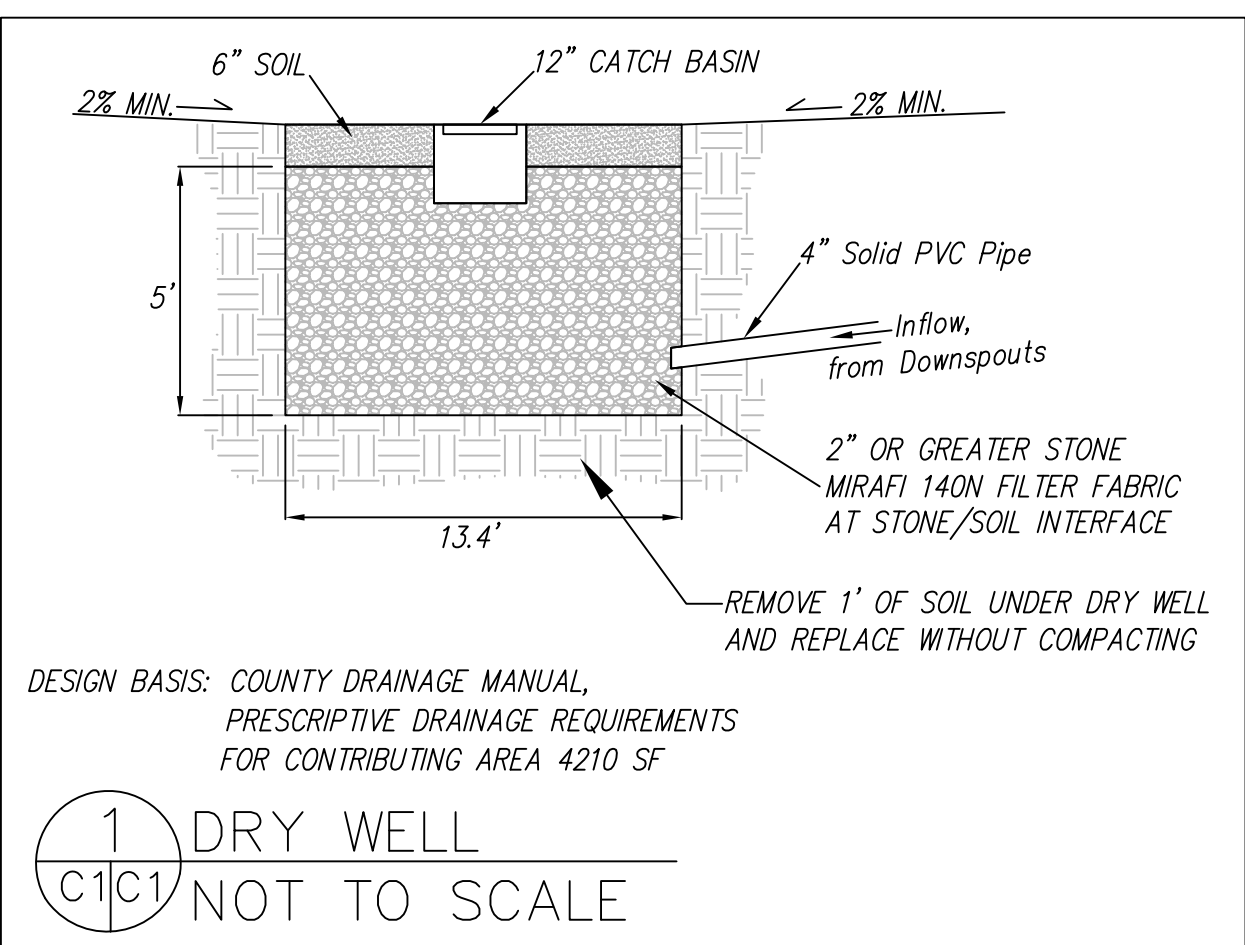
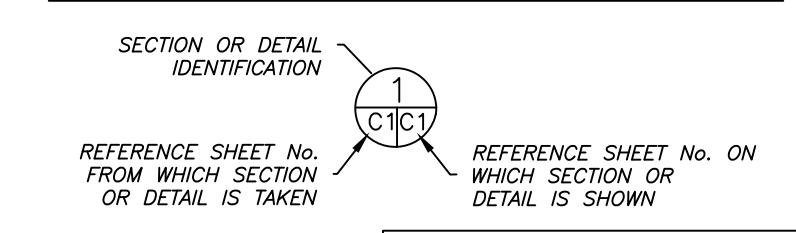
- GENERAL NOTES**
1. PLANS PREPARED AT THE REQUEST OF:
TARA BENSON, OWNER
 2. TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED APRIL 11, 2019.
 3. THIS IS NOT A BOUNDARY SURVEY.
 4. ELEVATION DATUM NAVD88.

- DRAINAGE NOTES**
1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
 2. ALL NEW DOWNSPOUT DRAIN LINES SHALL LEAD TO DRY WELL, AS SHOWN.
 3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
 4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DRY WELL TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

- GRADING NOTES**
- CUT VOLUME : 105 CY (FOR FOUNDATION, DRYWELL, DRIVEWAY)
FILL VOLUME: 0 CY
- VOLUMES ABOVE ARE APPROXIMATE.
- THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

SECTION AND DETAIL CONVENTION



GRADING AND DRAINAGE PLAN

DATE: 4-11-24
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE: _____
REV. DATE: _____

SHEET C-1

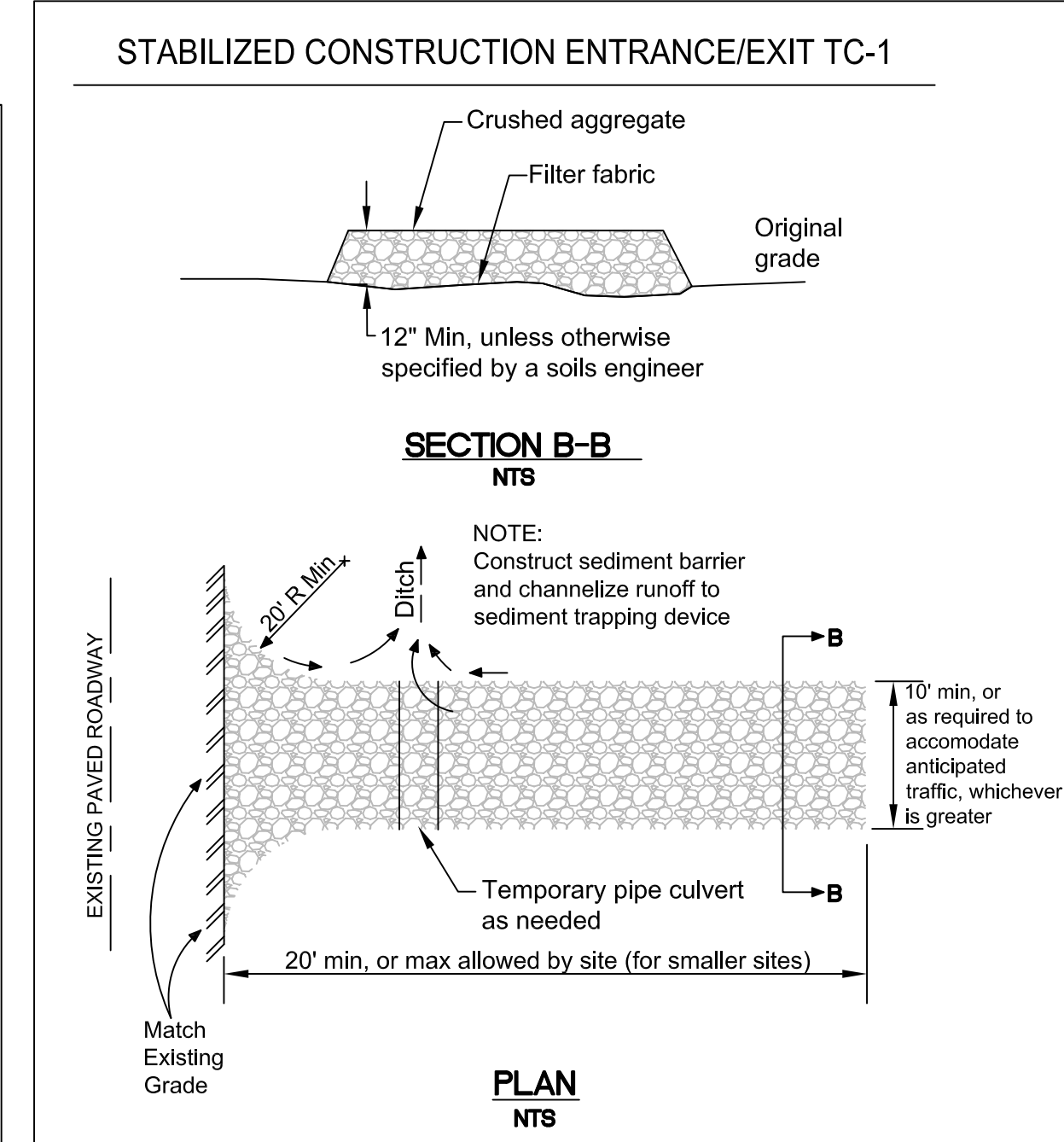
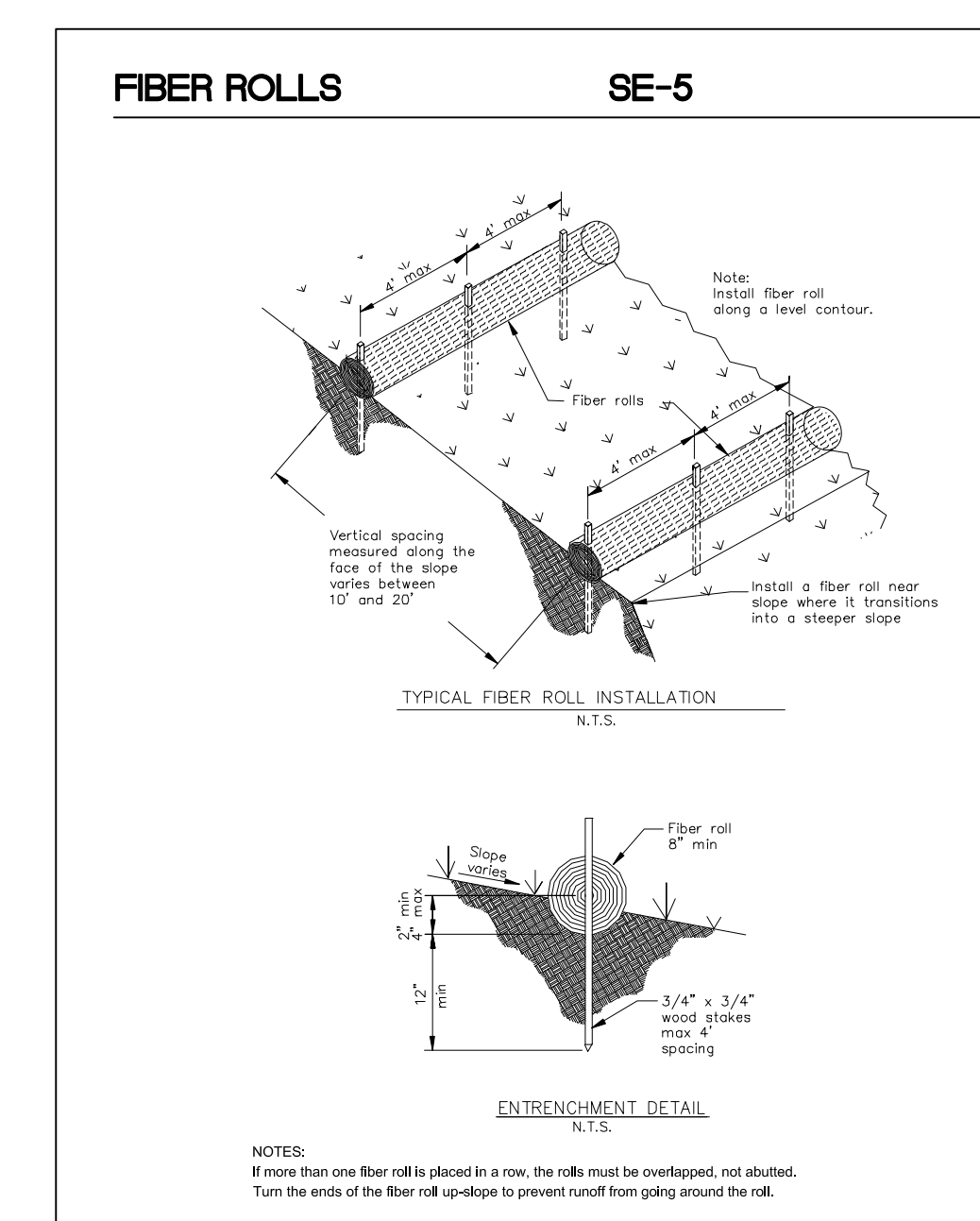
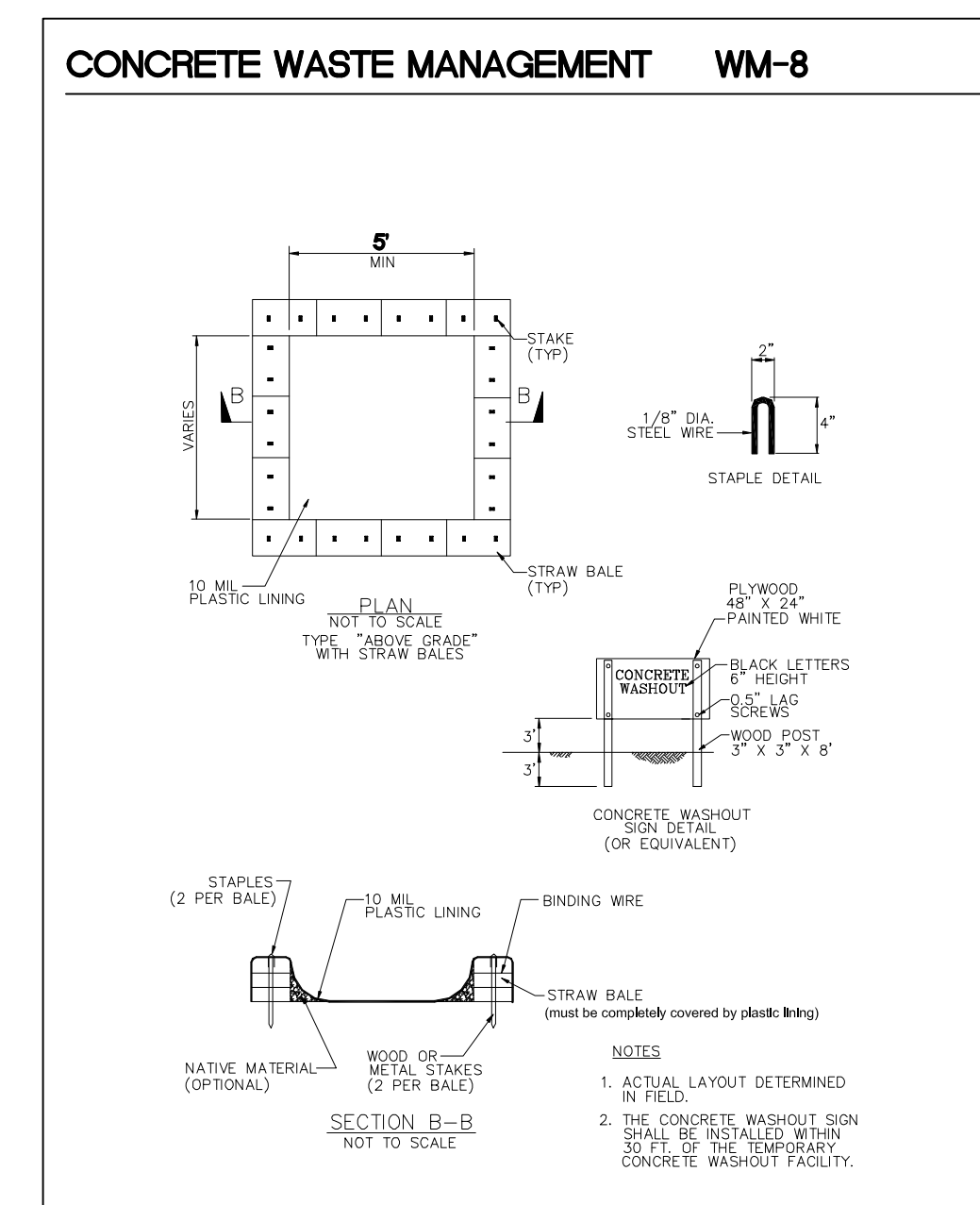
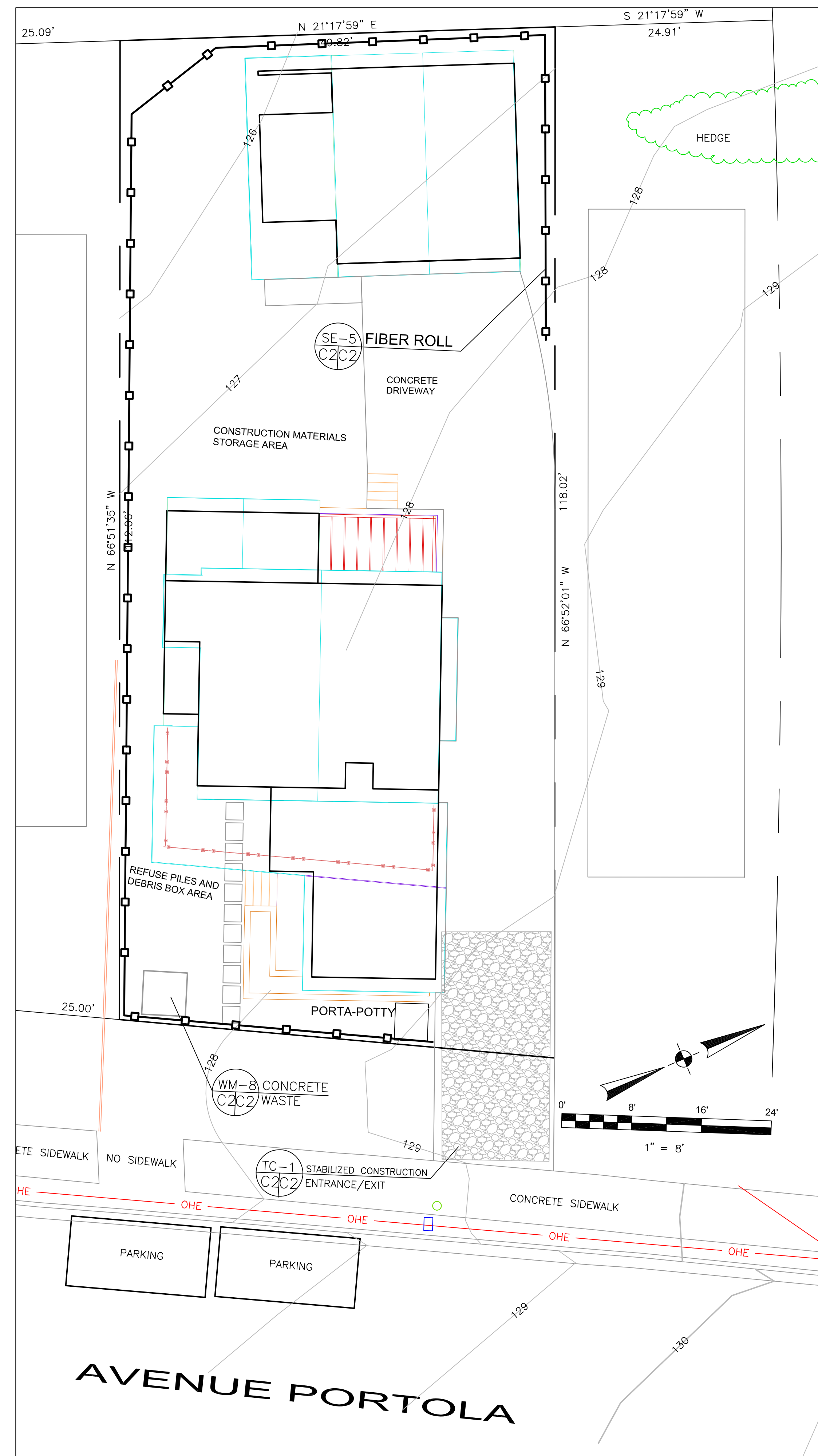
BRADLEY PROPERTY PORTOLA
167 AVENUE PORTOLA
EL GRANADA

Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 728-3590
FAX 728-3593

GENERAL EROSION AND SEDIMENT CONTROL NOTES

FIBER ROLL
INSTALL AT LOCATIONS SHOWN.
AFIX AS SHOWN IN DETAIL SE-5

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.



EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: KATIE KOSTIUK
TITLE/QUALIFICATION: ARCHITECT
PHONE: 650-918-7117
PHONE:
E-MAIL: KATIE@FATPENSTUDIOS.COM

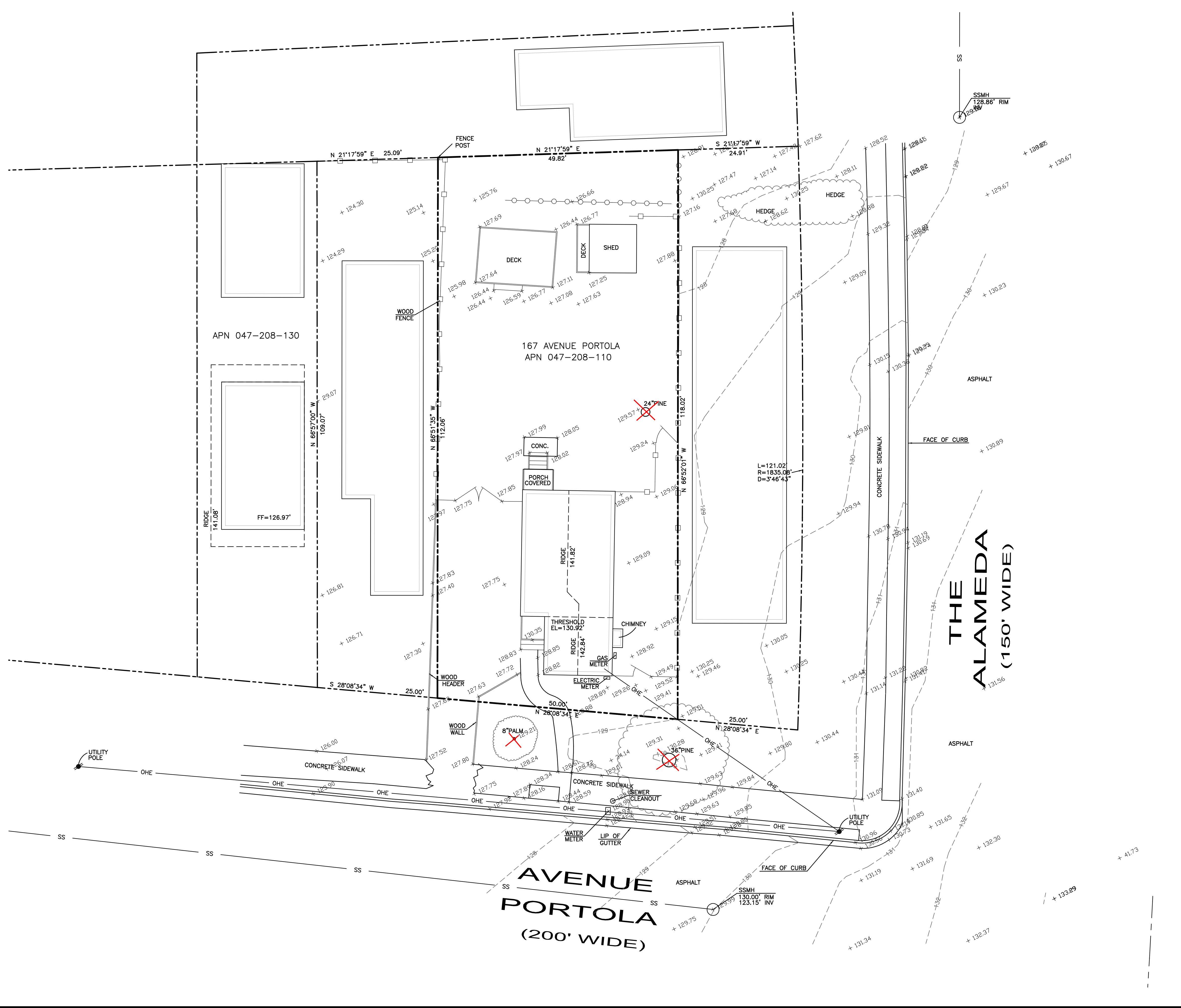


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332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 728-3590
FAX 728-3593

DATE: 4-11-24
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE:
REV. DATE:
REV. DATE:

EROSION AND SEDIMENT CONTROL PLAN
BRADLEY PROPERTY
167 AVENUE PORTOLA
EL GRANADA

SHEET
C-2



APN 047-208-130

167 AVENUE PORTOLA
APN 047-208-110

THE ALAMEDA
(150' WIDE)

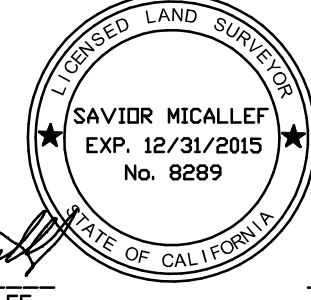
AVENUE PORTOLA
(200' WIDE)

BENCHMARK STATEMENT:
THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

SURVEYOR'S STATEMENT:
THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE MAY 2022. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO EASEMENTS SHOWN. EASEMENTS OF RECORD MAYBE LISTED IN THE TITLE REPORT.

SAVIOUR P. MICALLEF
LAND SURVEYOR, LS 8289
(805) 708-2423

05-23-22
DATE



NOTE: TREES WITH RED X HAVE BEEN REMOVED SINCE SURVEY WAS COMPLETED

SAVIOUR P. MICALLEF LAND SURVEYING
421 WILDWOOD DRIVE
SOUTH SAN FRANCISCO, CA 94080
805/708-2423

TOPOGRAPHIC SURVEY OF
167 AVENUE PORTOLA
CITY OF EL GRANADA SAN MATEO COUNTY CALIFORNIA

Revisions				
No.				
Date	05-23-22			
Scale	1"=20'			
Design				
Drawn	SPM			
Approved	SPM			
Job No.				
Drawing Number:				

FAT PEN

Architectural site plan for a building named "FAT PEN". The plan includes several elevation drawings (front, side, and rear) and two photographs of the site. The drawings show a two-story structure with a gabled roof and a porch. The site plan includes dimensions and a north arrow. The text "FAT PEN" is prominently displayed in the upper right corner of the plan. The plan also includes a table with columns for "PROPOSED", "EXISTING", and "REMARKS".

NOTICE OF CONSTRUCTION DESIGN REVIEW

SMITHSONIAN INSTITUTION

